

APPROVED 2006 CSP  
AS AMENDED JUNE 23, 2014

# Canyon Trails Plaza / Phase 2

~~ESTRELLA PARKWAY & VAN BUREN STREET~~

~~March 1, 2006~~

**Amendment to the Comprehensive Sign  
Package for the Canyon Trails Plaza Phase 2  
Case No. 14-630-00002  
June 23, 2014**

COMPREHENSIVE SIGN PLAN

CITY OF GOODYEAR

APR 24 2006

APPROVED BY  
CITY COUNCIL  
CASE # 05-630-00011  
COAC # 06-2859

*[Signature]*

PREPARED BY  
Young Electric Sign Company  
6725 West Chicago Street,  
Chandler, Arizona

Signage Consultant  
Kelly Chipman  
(480) 403-7722

*3RD Submittal*  
*3/2/06*  
*14-630-00011*



**CANYON TRAILS PLAZA PHASE II  
GOODYEAR, ARIZONA  
SIGN CRITERIA**

~~March 1, 2006~~

**I. INTRODUCTION** **As Amended June 23, 2014  
Case No. 14-630-00002**

The purpose of this Sign Criteria is to ensure an attractive shopping center environment that remains harmonious with Canyon Trails Phase one and to protect the interests of the surrounding neighborhoods, landlord, and tenants.

All signage within the development shall be in conformance with the sign plan and any signage not specifically identified in the sign plan is prohibited.

Each tenant shall obtain copies of this sign program from the Landlord/Developer before creating and/or installing their signage.

**II. SIGNAGE OUTLINE**

1. **Retail Multi-Tenant Monument Signs** (exhibits A1, A2)

Location:	Ground mounted along the frontage of Estrella Parkway. A minimum setback of 5 feet from property line and out of the right-of-way required.
Quantity:	Two (2) on Estrella Parkway.
Height:	12 feet maximum.
Sign area:	48 sq. ft.
Letter size:	As allowed by overall area constraints.
Illumination:	Internally Illuminated with fluorescent fixtures.
Material:	Routed-out copy with 3/16" acrylic back up, on a structure having stucco matte texture finishes to match ICI #479 Dapper Tan, ICI #653 European White & #423 Worsted Tan.
Letter color:	Routed-out copy with 3/16" acrylic back up. Color open.
Font style:	Tenant copy as selected by tenant and approved by Landlord/Developer.
Monument Base:	"Madras" Red Slate

2. **Office Multi-Tenant Monument Sign** (exhibit B)

Location:	Ground mounted along the frontage of Estrella Parkway. A minimum setback of 5 feet from property line and out of the right-of-way required.
Quantity:	One (1) on Estrella Parkway.
Height:	8 feet maximum.
Sign area:	48 sq. ft.
Letter size:	As allowed by overall area constraints.
Illumination:	Internally Illuminated with fluorescent fixtures.

Material: Routed-out copy with 3/16" black day-night acrylic back up, on a structure having stucco matte texture finishes to match ICI #479 Dapper Tan, ICI #653 European White & #423 Worsted Tan.

Letter color: Routed-out copy with 3/16" black day-night acrylic back up.

Font style: Tenant copy as selected by tenant and approved by Landlord/Developer.

Monument Base: "Madras" Red Slate

3. **Wall Signs for Major Tenants 15,000 Sq. ft or more (exhibits D & G)**

All the signage is to be installed on the canopy fascia and building walls fronting Estrella Parkway as indicated in the attached exhibits. Wall signs are not permitted on building elevations facing existing or planned residential uses.

Location: Facade of main elevation.

Quantity: One (1) unless modifier signs are necessary to describe the business.

Sign Area: 1.5 square foot of sign area per each linear foot of building front footage. The maximum sign area is not to exceed 300 square feet. No sign shall exceed 80% of length of storefront.

Letter size: 48"

Illumination: Internally Illuminated with neon or LED lighting.

Material: 5" deep, aluminum pan channel letters with dark bronze returns and trim cap.  
Logos: Painted individual pan channel metal logos with 3/16"plex faces. Logos cannot exceed 25% of total sign area.

Letter color: As selected by tenant and approved by Landlord/Developer.

Font style: As selected by tenant and approved by Landlord/Developer.

4. **Pad Building Wall Signs**

The length of any pad tenant sign shall not exceed eighty percent (80%) of that tenant's storefront width. Logos are permitted. Cabinet signs are not to exceed 10 square feet in area unless such sign utilizes a cabinet that is stylized in shape, rather than rectangle, to reflect the shape of the image printed on the sign face, or utilizes a molded sign face, with embossed copy or sign copy or sign copy in relief, or utilizes a nationally registered trademark. Signs shall be mounted on the sign fascia above the shop and shall be individual aluminum pan channel, painted letters, internally illuminated, flush mounted. All raceways are to be concealed.

Location: As approved by the City of Goodyear and the Landlord/Developer.

Quantity:	Per the City of Goodyear and the Developer approval.
Sign area:	1 square foot of sign area per each linear foot of building leased frontage and ½ square foot of sign area per each linear foot of frontage all other elevations. Maximum sign area for any one business is not to exceed 200 square feet unless otherwise approved with a comprehensive sign plan.
Letter size:	Maximum letter size shall be 30", minimum letter size shall be 10". Multiple rows shall not exceed 32" of total height.
Material:	5" deep, aluminum pan channel letters with dark bronze returns and trim cap. Logos: Painted individual pan channel metal logos with 3/16"plex faces. Logos cannot exceed 25% of total sign area.
Letter color:	As selected by tenant and approved by Landlord/Developer.
Font style:	As selected by tenant and approved by Landlord/Developer.

5. **Retail Building Wall Signs (exhibit E & H)**

The length of any shop tenant sign shall not exceed eighty percent (80%) of that tenant's storefront width. A logo is permitted, not to exceed 25% of the allowed sign area. Cabinet signs are not to exceed 10 square feet in area unless such sign utilizes a cabinet that is stylized in shape, rather than rectangle, to reflect the shape of the image printed on the sign face, or utilizes a molded sign face, with embossed copy or sign copy or sign copy in relief, or utilizes a nationally registered trademark. Signs shall be mounted on the sign fascia above the shop and shall be individual aluminum pan channel, painted letters, internally illuminated, flush mounted. All raceways are to be concealed.

Location:	Facade of shops canopy in front of lease space.
Quantity:	One per street frontage.
Sign area:	1 square foot of sign area per each linear foot of building leased frontage and ½ square foot of sign area per each linear foot of building leased frontage for all other elevations.
Letter size:	Maximum letter size shall be 30", minimum letter size shall be 10". Multiple rows shall not exceed 32" of total height.
Material:	5" deep, aluminum pan channel letters with dark bronze returns and trim cap. Logos: Painted individual pan channel metal logos with 3/16"plex faces. Logos cannot exceed 25% of total sign area.

Letter color: As selected by tenant and approved by Landlord/Developer.  
Font style: As selected by tenant and approved by Landlord/Developer.

**6. Office Building Wall Signage (exhibit F & I)**

The length of any office tenant sign shall not exceed eighty percent (80%) of that tenant's storefront width. A logo is permitted, not to exceed 25% of the allowed sign area. Signs shall be mounted on the sign fascia above the Office Suite and shall be individual aluminum, non-illuminated reverse pan channel letters installed ¼" from wall.

See revised Exhibits  
F.1 through F.4

~~\* **BUILDINGS 1 & 2 ARE NOT PERMITTED INDIVIDUAL, WALL MOUNTED TENANT SIGNS.**~~

Location: Façade of Office Suites canopy in front of lease space in designated sign band area.  
Quantity: One per street frontage.  
Sign area: 1 square foot of sign area per each linear foot of building leased frontage and ½ square foot of sign area per each linear foot of frontage for all other elevations. Maximum sign area for any one business is not to exceed 50 square feet (50 s.f.).  
Letter size: Maximum letter size shall be 24", minimum letter size shall be 10". Multiple rows shall not exceed 30" of total height.  
Material: Painted individual aluminum reverse pan channel metal letters with 3" depth.  
Letter color: Dark Bronze satin finish  
Font style: As selected by tenant and approved by Landlord/Developer.

**7. Directory Display (exhibit C)**

Location: Between buildings 1 & 2 in the walkway.  
Quantity: One (1) double-sided  
Height: 6'-7"  
Sign area: 11.40 square feet  
Illumination: Internally illuminated with fluorescent fixtures.  
Material: White acrylic with bronze, first surface vinyl in a structure having stucco matte texture finishes to match ICI #479 Dapper Tan, ICI #653 European White & #423 Worsted Tan.  
Base: "Madras" Red Slate

**8. Drive-Thru Restaurant Menu Boards**

Each drive-thru Restaurant may be permitted a minimum of one (1) preview board and one (1) ordering menu board. An additional preview board and ordering board may be approved for a Restaurant with two drive-thru lanes. These signs may be freestanding or wall-mounted and

shall be located a minimum of forty-five feet (45') from the street property line and the front of the board(s) shall not be visible from Estrella Parkway. The maximum aggregated area for both the preview board and ordering menu board displays shall not exceed fifty square feet (50 s.f.) or a maximum height of eight feet (8') per sign per drive-thru lane. These signs shall not be included in calculating the total aggregate area for signage allowed on a parcel or lot or for a particular business. Freestanding menu boards shall have a monument base of masonry construction and shall have a landscape area at the base of the sign equal to at least two square feet (2 s.f.) for each foot of sign area.

**9. Directional Signs**

Location:	As approved through the Site Plan Review process and the Landlord /Developer. No sign shall be located within the visibility triangle of any driveway.
Quantity:	As approved through the Site Plan Review process.
Height:	Three feet (3')
Sign area:	6 square foot (6 s.f.). Up to 25% of the sign area devoted to the display of a business logo or identification. These signs shall not be included in calculating the total aggregate area of signage allowed on a particular lot or business.
Illumination:	Signs may be internally illuminated with neon, LED, or fluorescent lighting. Signs may also be non-illuminated.
Material:	Aluminum construction with 3/16" acrylic face for illuminated signs and Aluminum construction for non-illuminated signs.
Letter color:	As selected by tenant and approved by Landlord/Developer.
Font style:	As selected by tenant and approved by Landlord/Developer.

**III. GENERAL**

Landlord/Developer and the City of Goodyear shall administer and interpret the Criteria and shall have the right to approve all signs in writing prior to their installation.

Tenants, at their expense, shall identify their premises with one exterior wall sign per street front on the fascia or face of their building (unless occupying space in office buildings 1 or 2). Tenants with multiple locations and/or Federally Registered Trademarks will be permitted to utilize their corporate colors and/or styles.

**IV. SUBMITTAL AND COMPLIANCE**

A. The City of Goodyear requires sign permits for all signs and electrical permits for any sign, which is illuminated. It shall be Tenant's sole

responsibility to secure these and any other permits which may be required.

1. Landlord/Developer, or Landlord/Developers Sign Consultant (listed below) must review all signs intended for installation for conformance to sign standards. All tenants will receive a copy of these sign standards before designing signs. Plans must be approved in writing prior to commencement of installation.
2. Tenant shall submit or cause to be submitted to Landlord/Developer or Landlord/Developer s Signage Consultant for approval three (3) sets of detailed shop drawings covering location, sizes, design, color, materials, lettering, graphics, conduits, junction boxes, sleeves and other mounting apparatus of the proposed wall sign. Landlord/Developer or Landlord/Developer Sign Consultant shall review the drawings and return two sets marked "Approved", "Approved as Noted", or "Revise and Resubmit".
  - a. "Approved" drawings will permit the Tenant to proceed with permits, construction, and installation of its sign in accordance with the drawings.
  - b. "Approved as Noted" drawings will permit the Tenant to proceed with permits, sign construction, and installation provided that the modifications noted are incorporated into the design. If the tenant takes exception to the modifications, Tenant shall revise and resubmit under (c) below.
  - c. "Revise and Resubmit" drawings will be returned to the tenant with comments. These drawings shall be revised and resubmitted for Developer approval within 15 days of their receipt by Tenant.
  - d. Tenants will be required to provide documentation of Developer approval with permit submittal.
  - e. Any sign presented for approval by the Tenant which does not conform with the approved Sign Plan must be reviewed and approved by the Landlord/Developer prior to submission for City approval.
3. No signs, advertisements, notices, or other lettering shall be displayed, exhibited, inscribed, painted, or affixed on any part of the buildings visible from outside the premises except as specifically approved by Developer. Signs installed without written approval or inconsistent with approved drawings may be subject to removal and reinstallation by Developer at Tenant's expense. Rude, obscene, or offensive signs are not permitted in any

location, whether or not visible from outside the premises and shall be removed at Developer's discretion.

4. Landlord/Developer or Landlord/Developers Signage  
Consultant approval of Tenant's plans shall not constitute an implication, representation, or certification by Landlord/Developer that said items are in compliance with applicable statutes, codes, ordinances, or other regulations. Said compliance shall be the sole responsibility of Tenant for all work performed on the premises by or for Tenant.
5. Landlord/Developer may replace any broken or faded sign at Tenant's expense.
6. A copy of the master developer/owner's approval of a sign shall be submitted to the City with all requests for sign permits.
7. All signs installed without master developer/owner or City approval shall be removed.

**V. DESIGN REQUIREMENTS**

NOTE: The City of Goodyear requires sign permits for all signs and electrical permits for any sign that is illuminated. It shall be Tenant's sole responsibility to secure these, and any other permits which may be required. The area of each sign is calculated per Goodyear Zoning Ordinance guidelines utilizing a rectangle around each individual letter or a rectangle around connected letters.

- A. No visible cable or wiring will be permitted.
- B. All exposed metal sign cabinet returns will be painted to match colors black or dark bronze.
- C. Power to illuminate the Tenant sign shall be from tenant's meter switched through a master time clock set in accordance with schedules determined by Landlord.
- D. Animated, flashing, blinking, rotating, moving, audible, placards, posters, playbills, postings, paintings, change-panel, flags, signs in public right-of-way, and fixed balloons and exposed neon are not permitted. Grand opening or special event signs shall be permitted in conformance with the Zoning Ordinance.
- E. Signs will be restricted to advertising only the person, firm, company or corporation operating the use conducted on the site, or the products sold therein.
- F. Directional Signs: Signs necessary for on-premise vehicle control and the performance of business transactions from a vehicle shall be allowed subject to the following conditions:
  - Maximum area of 6 square feet.
  - Maximum height of 3 feet.
  - Signs shall be permanently affixed to the ground.
- G. Developer shall have the right to modify the design requirements for any tenant.

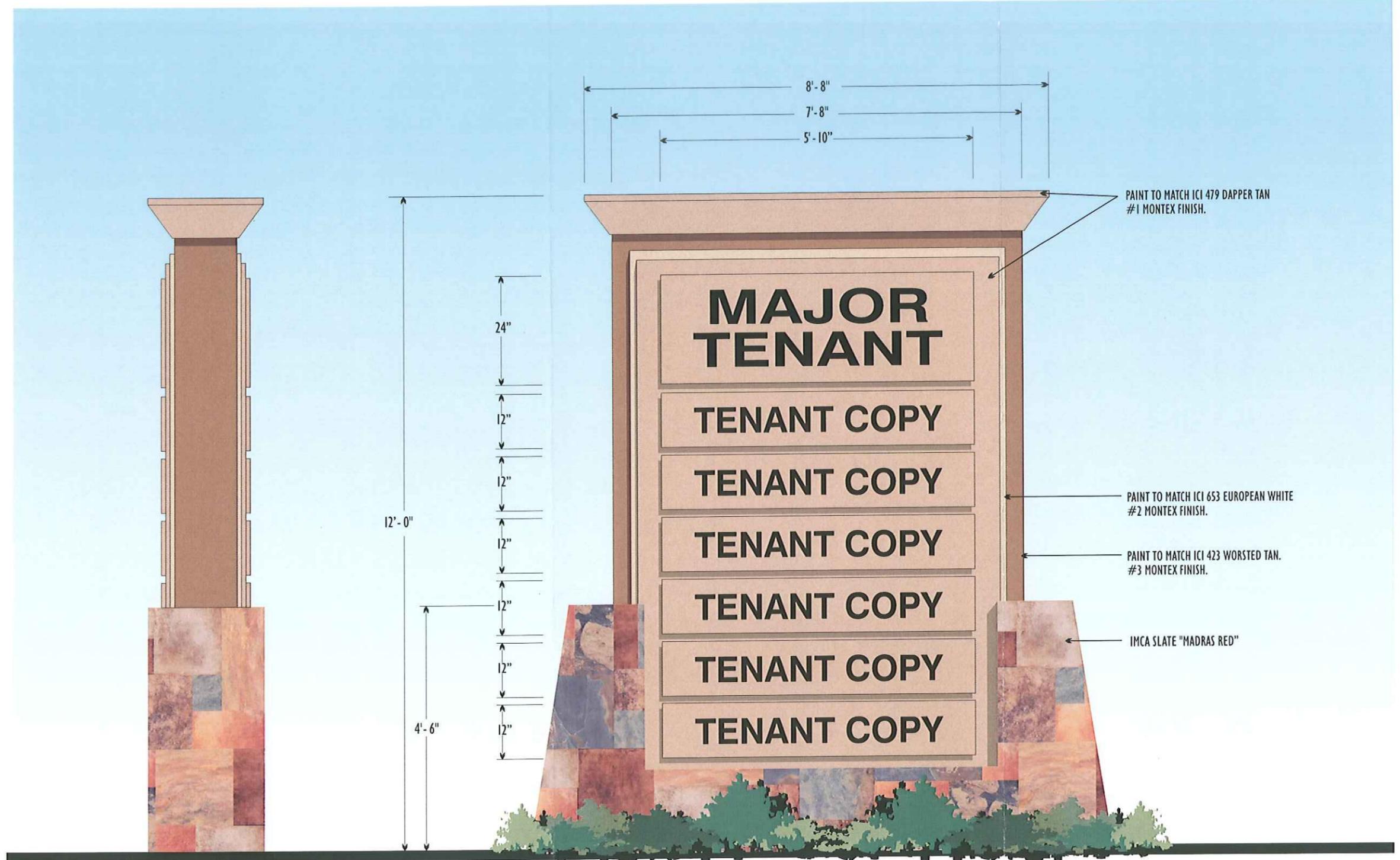
- H. Sign text may be placed on more than one row, subject to space availability, required approvals, and provided the maximum allowable area guidelines are not exceeded.
- I. Retail and Office tenants shall be allowed to place a sign in the window panel adjacent to entrance door. Business name, address or suite number, and hours of business shall be white vinyl letters. No other window signage will be allowed without Landlord approval. Window signage cannot exceed twenty-five percent (25%) of the total window area through which they are visible.
- J. Tenant shall identify their rear service door for delivery and emergency purposes. Signs shall identify the suite number only, and be located in the center of the door, five (5) feet from finished floor to centerline of 4" tall black vinyl letter.
- K. No sign shall be closer than 12 inches from a neutral strip between tenants.
- L. Building address numbers shall be provided per the requirements of the City of Goodyear Fire Department.

## **VI. CONSTRUCTION REQUIREMENTS**

- A. All sign bolts, fastenings, sleeves, and clips shall be of hot dipped galvanized iron, stainless steel, aluminum, brass, or bronze and no black iron material of any type will be permitted.
- B. No labels shall be permitted on the exposed surface of signs, except those required by local ordinance. Those required shall be applied in an inconspicuous location.
- C. All penetrations of the building structure required for sign installation shall be neatly sealed in a watertight condition.
- D. All exposed metals shall be painted to render them inconspicuous.
- E. All letters flush mounted to wall shall have P-K housing (Neon illuminated letters and Logos).
- F. Sign contractor and/or Tenant shall pay for any damage to the fascia, canopy, structure, roof, or flashing caused by sign installation.
- G. No exposed tubing, ballasts, crossovers, conductors, transformers, conduit, or raceways will be permitted except conduit at under canopy signs.
- H. All electrical signs shall bear the UL label.
- I. All signs shall conform to the local Building Code Standards and Electrical Code Standards.
- J. Fire Department connection shall be visible from the street.
- K. A three (3) foot clearance shall be provided around all fire equipment.

## **SIGNAGE CONSULTANT**

Lucretia Langham / Kelly G. Chipman  
Young Electric Sign Company  
6725 West Chicago Street  
Chandler, Arizona 85226  
(480) 449-3726 / llangham@yesco.com / kchipman@yesco.com



END VIEW

**INTERNAL ILLUMINATED D/F MONUMENT DISPLAY**

SCALE: 1/2" = 1'-0"

DESCRIPTION

\*. CABINET, SUPPORT COVER AND EMBELLISHMENTS ARE FABRICATED OF ALUMINUM.

RAISED REMOVABLE TENANT PANELS, ROUTED GRAPHICS, BACKED WITH 3/16" ACRYLIC. ACRYLIC COLOR AND LAYOUT PER TENANT SPECIFICATIONS.

**EXHIBIT - A1 & A2  
MULTI TENANT  
MONUMENT SIGNS**

Canyon Trails Plaza / Phase 2

ESTRELLA PARKWAY & VAN BUREN STREET  
GOODYEAR, ARIZONA



END VIEW

**INTERNAL ILLUMINATED D/F MULTI-TENANT MONUMENT DISPLAY**

SCALE: 1/2" = 1'-0"

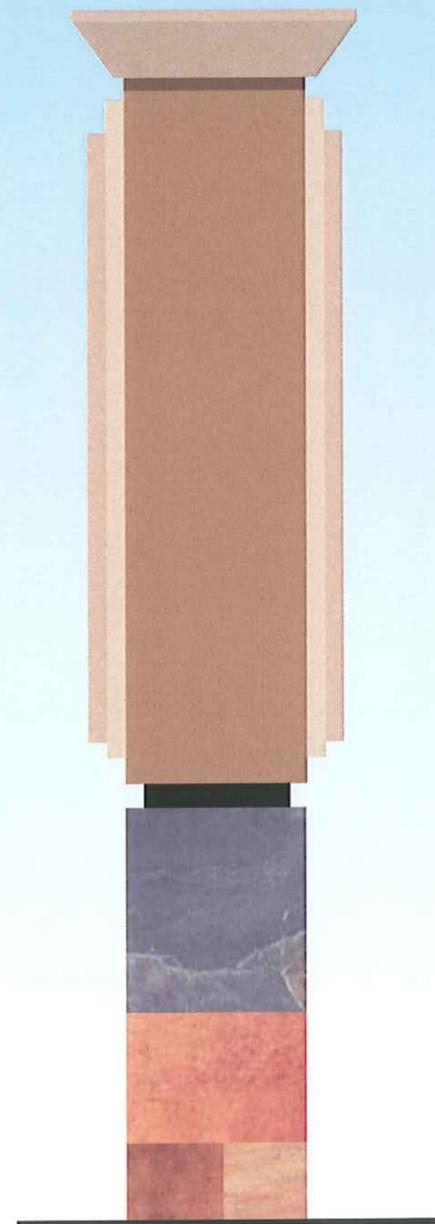
DESCRIPTION

\*.. CABINET, SUPPORT COVER AND EMBELLISHMENTS ARE FABRICATED OF ALUMINUM.  
 ALL LETTERS ARE ROUTED WITH BLACK DAY-NIGHT ACRYLIC BACKUP. RAISED REMOVABLE TENANT PANELS, ROUTED GRAPHICS, BACKED WITH 3/16" BLACK DAY-NIGHT ACRYLIC. LETTERS AND LAYOUT PER TENANT SPECIFICATIONS.

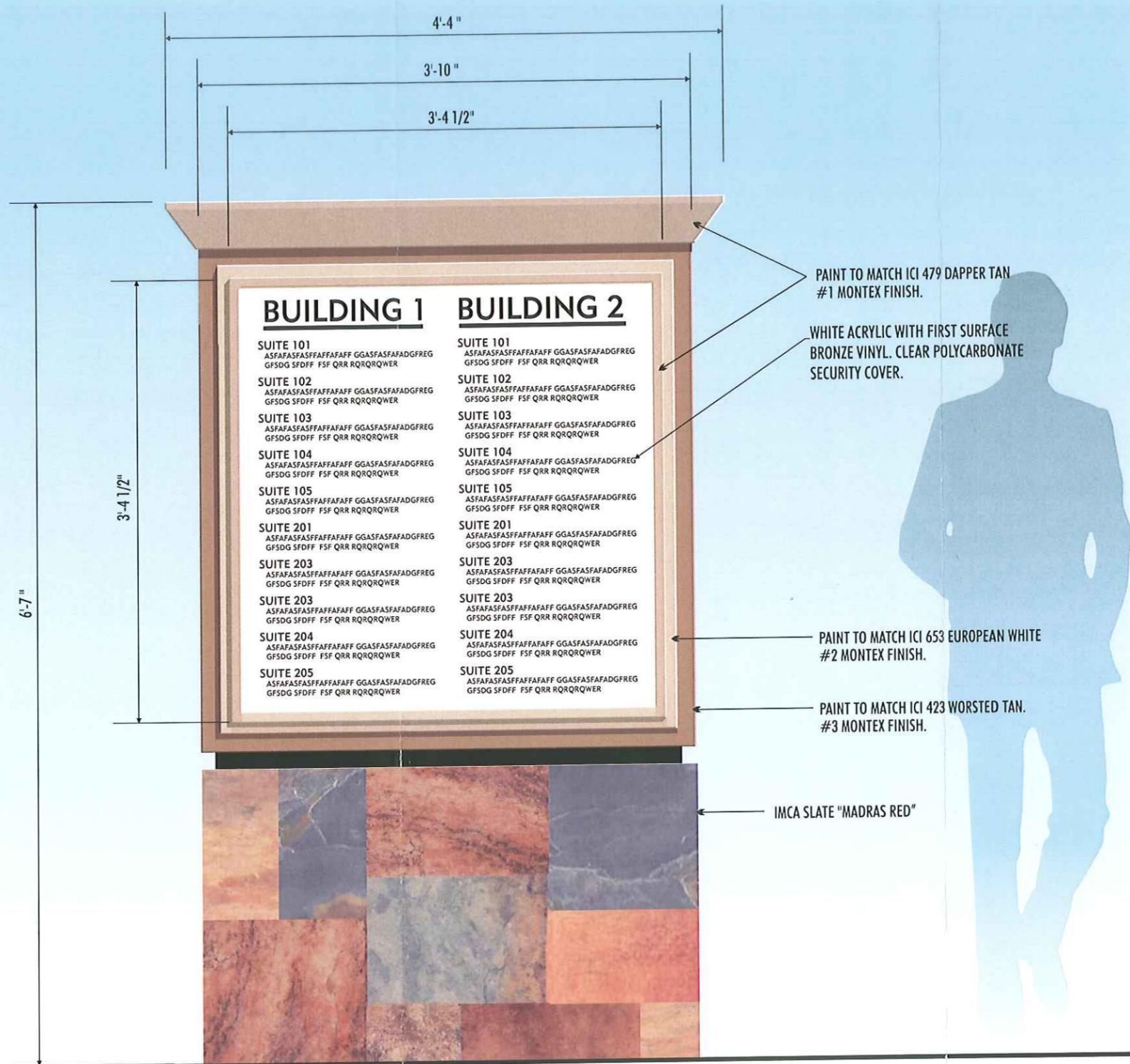
**EXHIBIT - B  
 MULTI TENANT  
 MONUMENT SIGN**

Canyon Trails Plaza / Phase 2

ESTRELLA PARKWAY & VAN BUREN STREET  
 GOODYEAR, ARIZONA



END VIEW

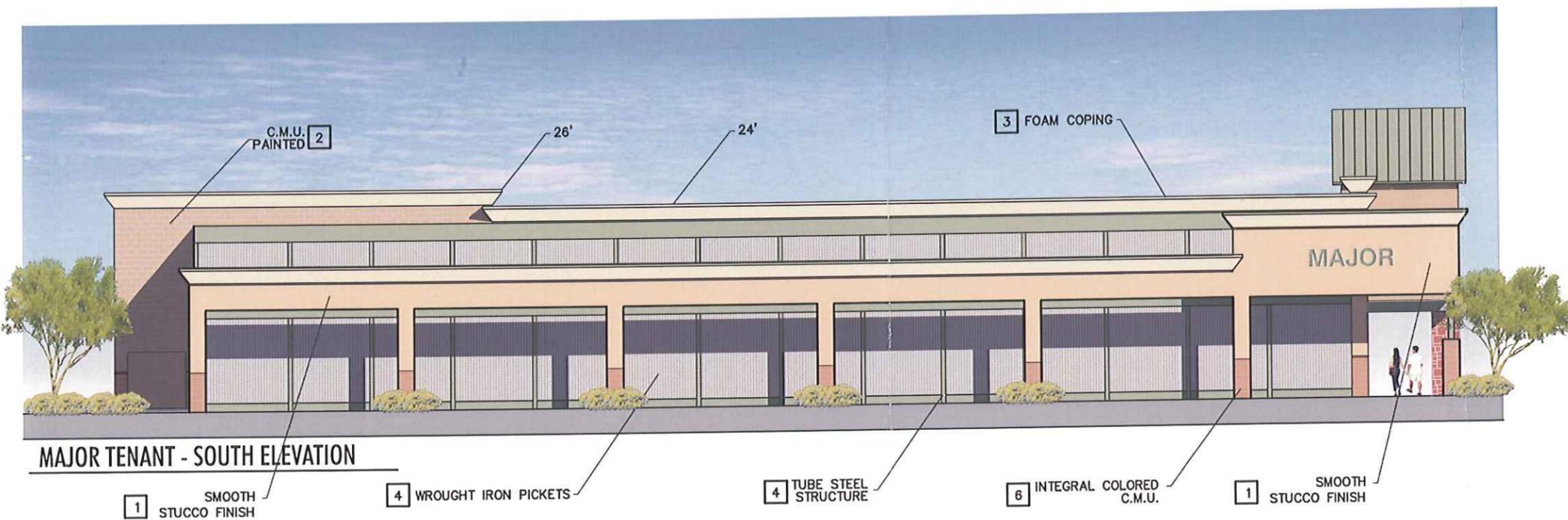
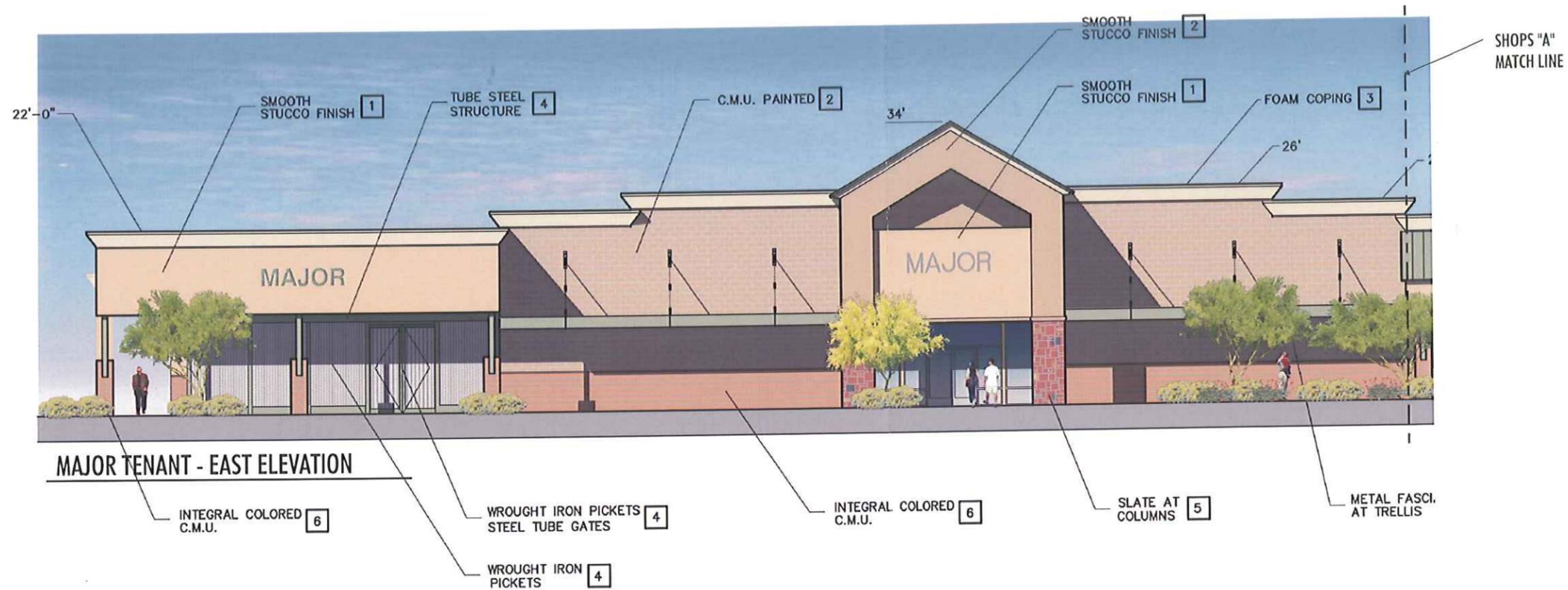


**INTERNAL ILLUMINATED D/F DIRECTORY DISPLAY**

SCALE: 1" = 7'-0"  
FABRICATE & INSTALL ONE DIRECTORY.

**EXHIBIT - C  
PEDESTRIAN  
DIRECTORY SIGN**

Canyon Trails Plaza / Phase 2  
ESTRELLA PARKWAY & VAN BUREN STREET  
GOODYEAR, ARIZONA



**EXHIBIT - D  
MAJOR TENANT  
WALL SIGNS**

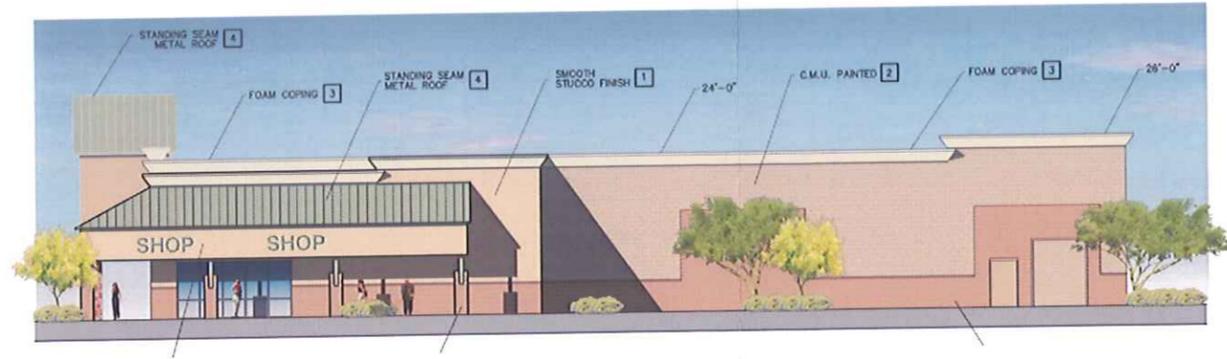
Canyon Trails Plaza / Phase 2

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GOODYEAR, ARIZONA

MAJOR TENANT MATCH LINE



SHOPS "A" - SOUTH ELEVATION



SHOPS "A" - EAST ELEVATION



SHOPS "B" - NORTH ELEVATION



SHOPS "B" - SOUTH ELEVATION



SHOPS "B" - NORTH ELEVATION

**EXHIBIT - E  
RETAIL SHOPS "A" & "B"  
WALL SIGNS**

Canyon Trails Plaza / Phase 2

ESTRELLA PARKWAY & VAN BUREN STREET  
GOODYEAR, ARIZONA



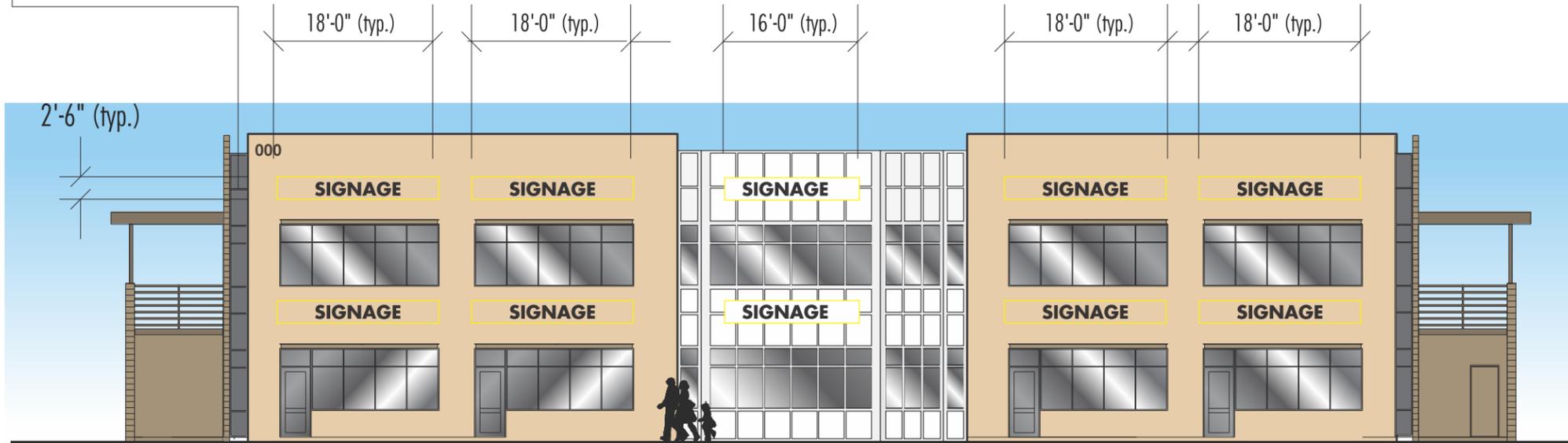
**PHOENIX DIVISION**

8725 W. Chicago Street, Chandler, Az 85226-3335 (480) 449-3726  
50710-R11 MS

YESCO. YOUNG ELECTRIC SIGN COMPANY

**BUILDING WITH PROPOSED WALL SIGNAGE**

Envelopes to be centered top to bottom with mullion line and left to right with the bays of windows as shown.

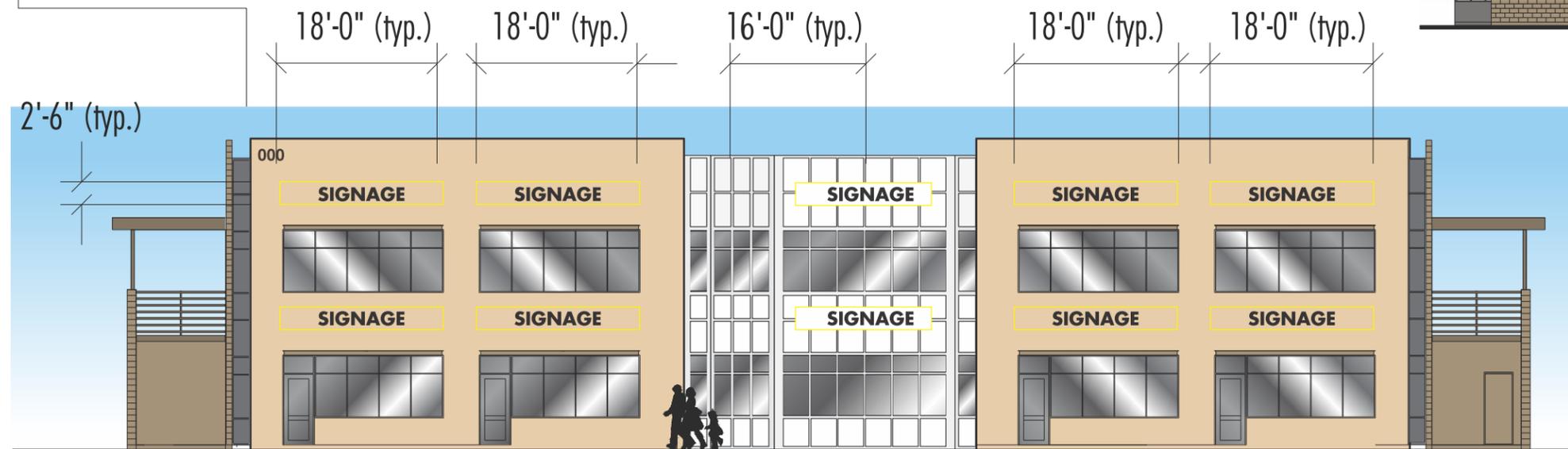


**BUILDING 1 & 2 - EAST ELEVATION**  
SCALE: 1/16" = 1'-0"



**BUILDING 2 - NORTH ELEVATION**  
Not to Scale

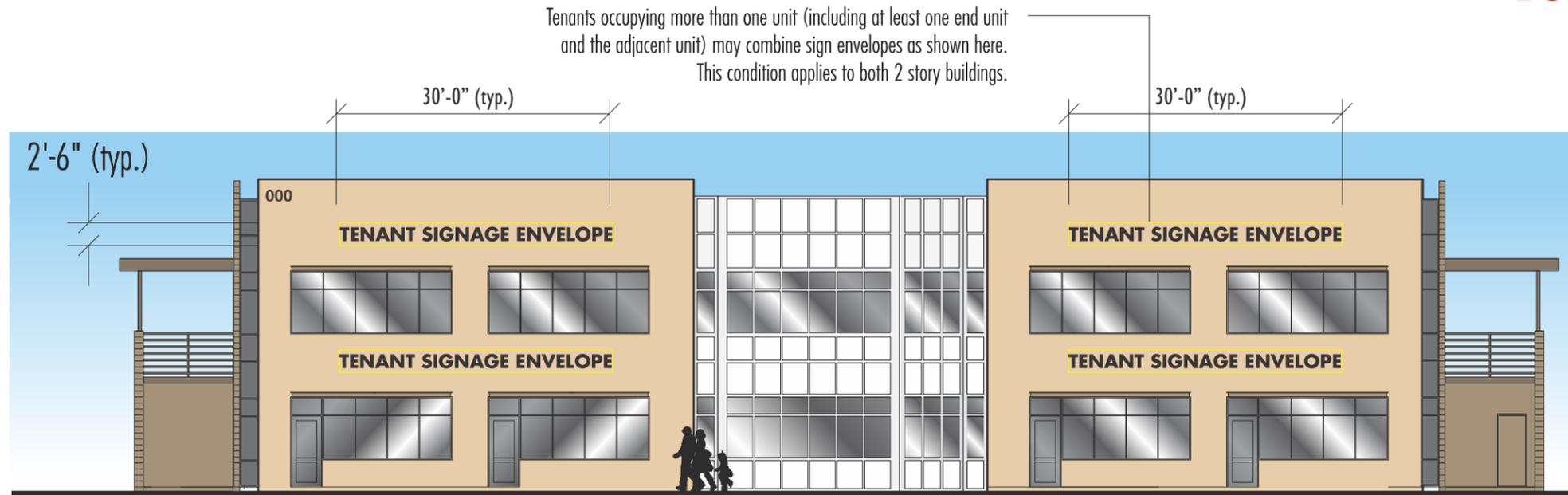
Envelopes to be centered top to bottom with mullion line and left to right with the bays of windows as shown.



**BUILDING 1 & 2 - WEST ELEVATION**  
SCALE: 1/16" = 1'-0"

**EXHIBIT F.1  
OFFICE BUILDINGS 1 & 2  
INDIVIDUAL SUITE-WALL SIGNS**

# BUILDING WITH PROPOSED WALL SIGNAGE



**BUILDING 1 & 2 - EAST ELEVATION**

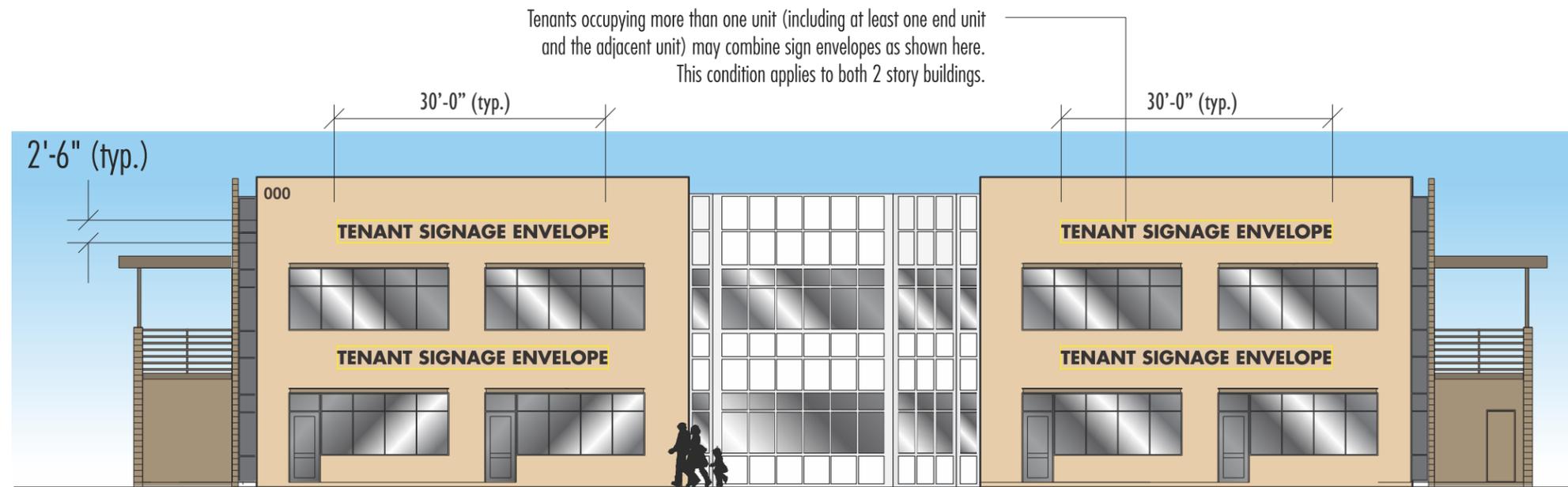
SCALE: 1/16" = 1'-0"

### IMPORTANT NOTE:

THIS ELEVATION ADDRESSES SPECIAL CONDITIONS RELATED TO INDIVIDUAL TENANTS OCCUPYING MULTIPLE SUITES OR COLUMN BAYS. SUCH CONDITIONS WOULD INCLUDE THE FOLLOWING:

1. AN INDIVIDUAL TENANT OCCUPYING MULTIPLE SUITES OR COLUMN BAYS.
2. AN INDIVIDUAL TENANT OCCUPYING AN ENTIRE FLOOR.
3. AN INDIVIDUAL TENANT OCCUPYING AN ENTIRE BUILDING.

IN NONE OF THESE SCENARIOS, WILL A TENANT BE ALLOWED TO HAVE MORE THAN ONE SIGN FACING ANY SINGLE FRONTAGE.



**BUILDING 1 & 2 - WEST ELEVATION**

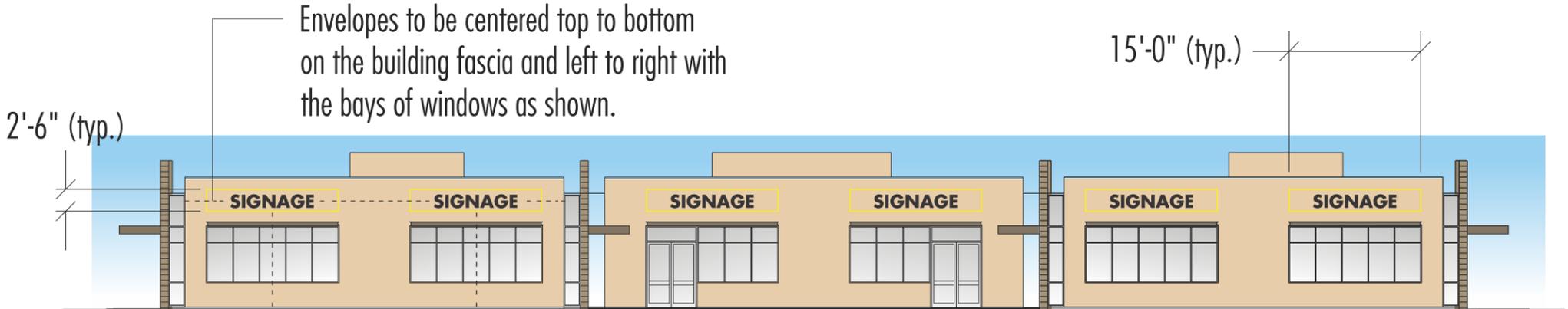
SCALE: 1/16" = 1'-0"

## EXHIBIT F.2 OFFICE BUILDINGS 1 & 2 COMBINED SUITES-WALL SIGNS

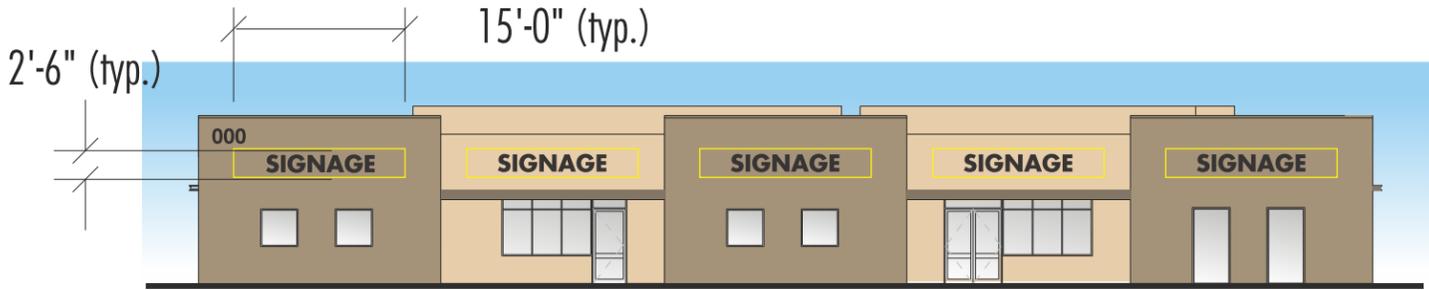
Canyon Trails Plaza / Phase 2

ESTRELLA PARKWAY & VAN BUREN STREET  
GOODYEAR, ARIZONA

FOR REFERENCE ONLY  
 NO CHANGE TO SIGNAGE FOR  
 OFFICE BUILDING 3

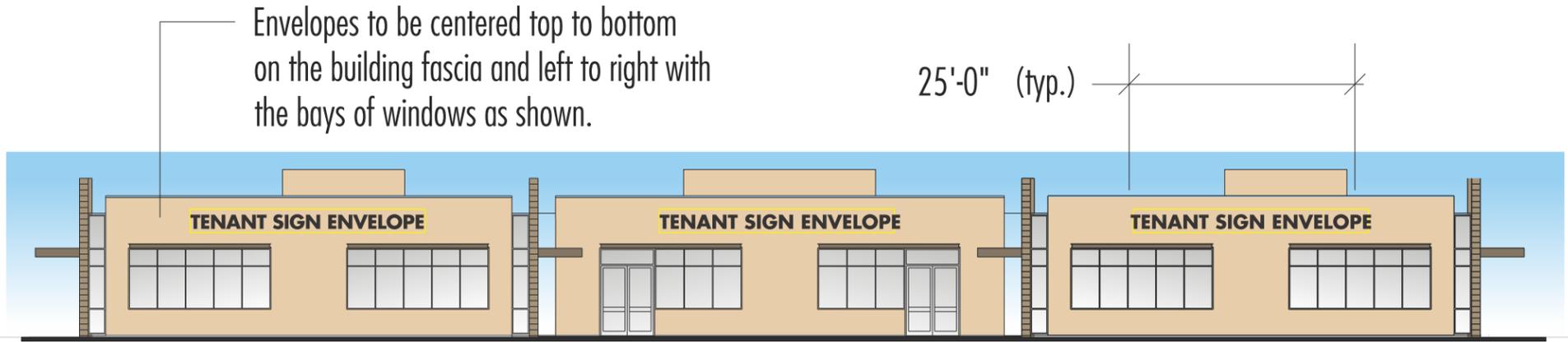


**BUILDING 3 - SOUTH ELEVATION**  
 SCALE: 1/16" = 1'-0"



**BUILDING 3 - EAST ELEVATION**  
 SCALE: 1/16" = 1'-0"

**EXHIBIT F.3  
 OFFICE BUILDING 3  
 INDIVIDUAL SUITE-WALL SIGNS**



**BUILDING 3 - SOUTH ELEVATION**  
 SCALE: 1/16" = 1'-0"

**IMPORTANT NOTE:**

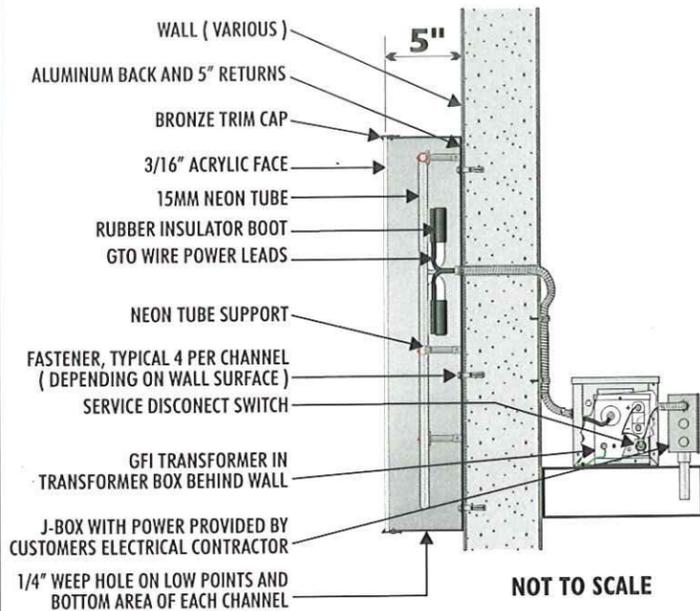
THIS ELEVATION ADDRESSES SPECIAL CONDITIONS RELATED TO INDIVIDUAL TENANTS OCCUPYING MULTIPLE SUITES OR COLUMN BAYS. SUCH CONDITIONS WOULD INCLUDE THE FOLLOWING:

1. AN INDIVIDUAL TENANT OCCUPYING MULTIPLE SUITES OR COLUMN BAYS.
2. AN INDIVIDUAL TENANT OCCUPYING AN ENTIRE FLOOR.
3. AN INDIVIDUAL TENANT OCCUPYING AN ENTIRE BUILDING.

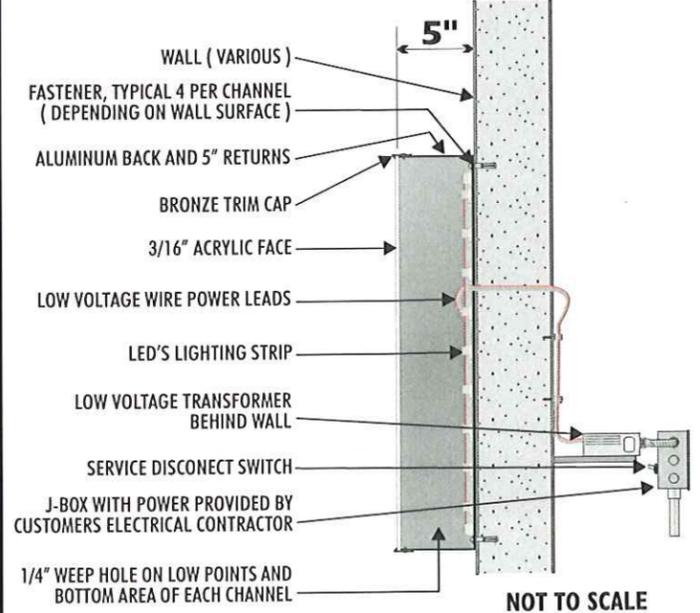
IN NONE OF THESE SCENARIOS, WILL A TENANT BE ALLOWED TO HAVE MORE THAN ONE SIGN FACING ANY SINGLE FRONTAGE.

**EXHIBIT F.4  
 OFFICE BUILDINGS 1 & 2  
 COMBINED SUITES-WALL SIGNS**

**PAN CHANNEL LETTERS / PADS  
NEON ILLUMINATED PAN CHANNEL LETTERS**



**PAN CHANNEL LETTERS / PADS  
LED ILLUMINATED PAN CHANNEL LETTERS**



# TYPICAL MAJOR TENANT RETAIL WALL SIGNAGE

48" MAXIMUM  
**STATE FARM®**

ONE LINE APPLICATION

SCALE: 1/4" = 1' - 0"

4'-0" MAXIMUM  
28" MAXIMUM  
**STATE FARM®**  
INSURANCE  
15" MINIMUM  
5" MINIMUM

"TM" OR "®" MARKS WILL BE FLAT CUT OUT PAINTED ALUMINUM WITH VINYL DECORATION, MOUNTED FLUSH TO BUILDING FASCIA.

TWO LINE APPLICATION

SCALE: 1/4" = 1' - 0"

RETAIL LOCATIONS ONLY:

TO QUALIFY AS A "MAJOR RETAIL TENANT", THE LEASED SPACE MUST EXCEED 1500 SQUARE FEET.

INTERNALLY NEON OR L.E.D. ILLUMINATED LETTERS, 5" DARK BRONZE RETURNS ARE FABRICATED FROM PRE-FINISHED ALUMINUM. BRONZE TRIM CAP.

BACK OF CHANNELS MOUNTED FLUSH TO WALL SURFACE.

FACES ARE 3/16" ACRYLIC (FACE COLOR OPEN - PER TENANT SPECIFICATIONS)

SIGNAGE CAN NOT EXCEED 80% OF THE TENANTS STOREFRONT WIDTH.

LOGOS ( INTERNALLY ILLUMINATED ) ARE PERMITTED ( NOT TO EXCEED 25% OF THE ALLOWED SIGN AREA ) UPON LANDLORD APPROVAL.

WALL SIGNAGE WILL NOT BE PERMITTED ON BUILDING ELEVATIONS FACING EXISTING OR PLANNED RESIDENTIAL USES.

**EXHIBIT - G**

Canyon Trails Plaza / Phase 2

ESTRELLA PARKWAY & VAN BUREN STREET  
GOODYEAR, ARIZONA

# TYPICAL RETAIL WALL SIGNAGE

# STATE FARM<sup>®</sup>

ONE LINE APPLICATION

SCALE: 1/2" = 1' - 0"

# STATE FARM<sup>®</sup>

# INSURANCE

"TM" OR "®" MARKS WILL BE FLAT CUT OUT PAINTED ALUMINUM WITH VINYL DECORATION, MOUNTED FLUSH TO BUILDING FASCIA.

TWO LINE APPLICATION

SCALE: 1/2" = 1' - 0"

RETAIL LOCATIONS ONLY:

INTERNALLY NEON OR L.E.D. ILLUMINATED LETTERS, 5" DARK BRONZE RETURNS ARE FABRICATED FROM PRE-FINISHED ALUMINUM. BRONZE TRIM CAP.

BACK OF CHANNELS MOUNTED FLUSH TO WALL SURFACE.

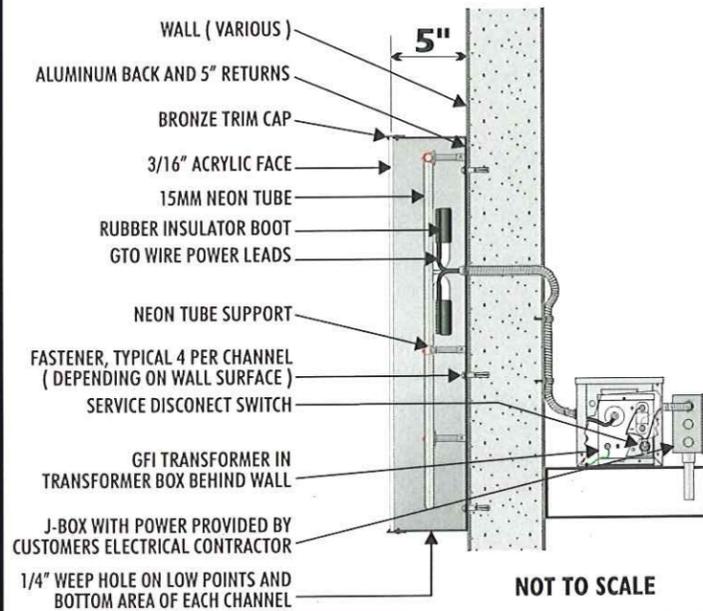
FACES ARE 3/16" ACRYLIC (FACE COLOR OPEN - PER TENANT SPECIFICATIONS)

SIGNAGE CAN NOT EXCEED 80% OF THE TENANTS STOREFRONT WIDTH.

LOGOS ( INTERNALLY ILLUMINATED ) ARE PERMITTED ( NOT TO EXCEED 25% OF THE ALLOWED SIGN AREA ) UPON LANDLORD APPROVAL.

WALL SIGNAGE WILL NOT BE PERMITTED ON BUILDING ELEVATIONS FACING EXISTING OR PLANNED RESIDENTIAL USES.

## PAN CHANNEL LETTERS / PADS NEON ILLUMINATED PAN CHANNEL LETTERS



## PAN CHANNEL LETTERS / PADS LED ILLUMINATED PAN CHANNEL LETTERS

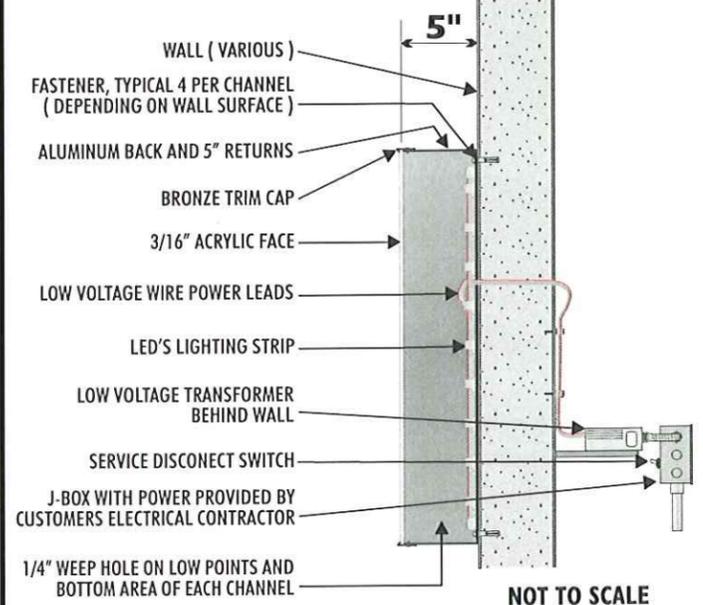


EXHIBIT - H

Canyon Trails Plaza / Phase 2

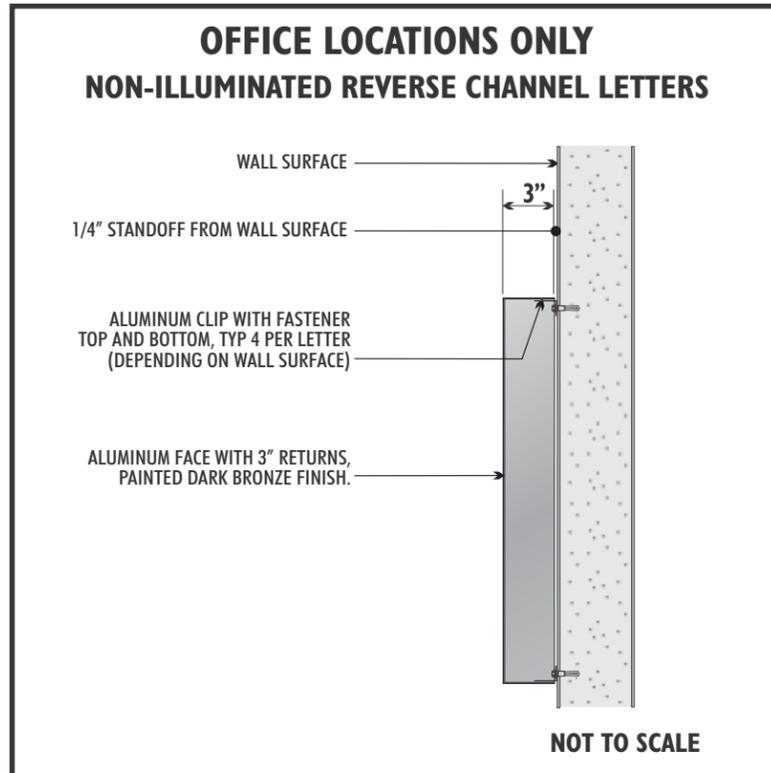
ESTRELLA PARKWAY & VAN BUREN STREET  
GOODYEAR, ARIZONA

**PHOENIX DIVISION**  
8725 W. Chicago Street, Chandler, Az 85226-3335 (480) 449-3726  
50710-R11 MS

YESCO. YOUNG ELECTRIC SIGN COMPANY

FOR REFERENCE ONLY  
NO CHANGE TO SIGN DESIGN

# TYPICAL OFFICE WALL SIGNAGE



## ONE LINE APPLICATION

SCALE: 1/2" = 1' - 0"



## TWO LINE APPLICATION

SCALE: 1/2" = 1' - 0"

### OFFICE LOCATIONS ONLY :

NON-ILLUMINATED LETTERS, FACES AND 3" RETURNS ARE FABRICATED FROM ALUMINUM AND PAINTED DARK BRONZE FINISH. MOUNTED WITH 1/4" STANDOFF FROM WALL SURFACE.

SIGNAGE CAN NOT EXCEED 80% OF THE TENANT STOREFRONT WIDTH.

LOGOS ( NON-ILLUMINATED ) ARE PERMITTED ( NOT TO EXCEED 25% OF THE ALLOWED SIGN AREA ) UPON LANDLORD APPROVAL.

FOR REFERENCE ONLY  
NO CHANGE TO SIGN DESIGN

# OFFICE WALL SIGNAGE



## THREE BUILDING WALL DISPLAYS

SCALE: 3/8" = 1' - 0"

BUILDING 2 - NORTH ELEVATION & EAST ELEVATION, BUILDING 3 - EAST ELEVATION :  
NON-ILLUMINATED LETTERS, FACES AND 3" RETURNS ARE FABRICATED FROM ALUMINUM AND PAINTED DARK BRONZE  
FINISH. MOUNTED WITH 1/4" STANDOFF FROM WALL SURFACE

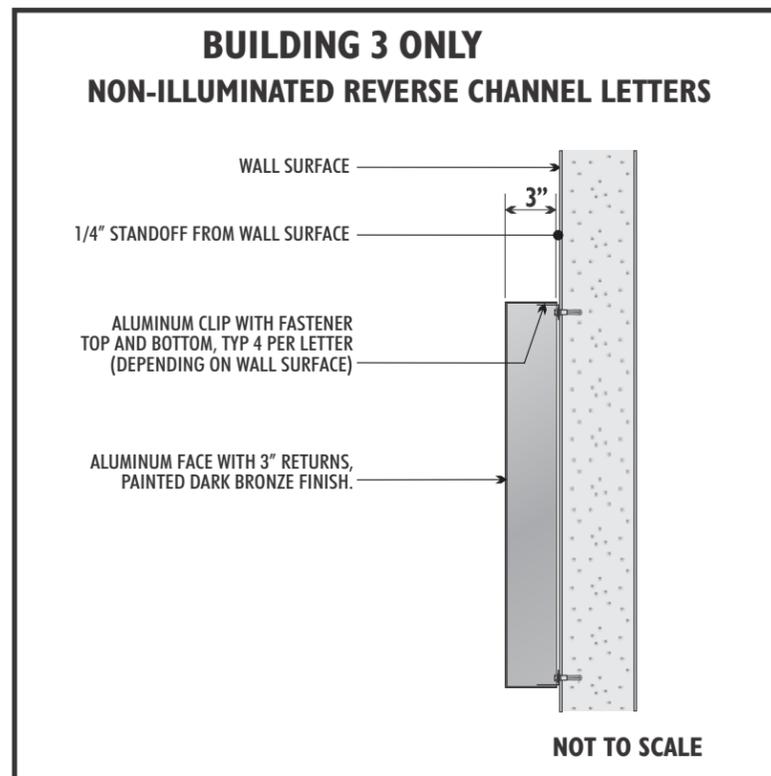


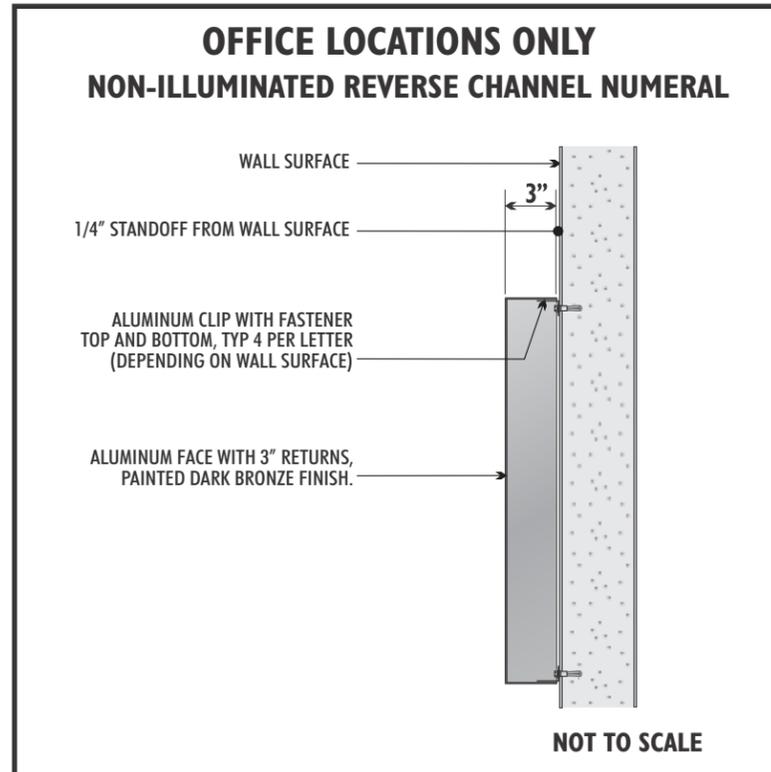
EXHIBIT - J

Canyon Trails Plaza / Phase 2

ESTRELLA PARKWAY & VAN BUREN STREET  
GOODYEAR, ARIZONA

FOR REFERENCE ONLY  
NO CHANGE TO SIGN DESIGN

# TYPICAL OFFICE WALL BUILDING DESIGNATORS



24" MAXIMUM

# BLDG. 2

**ONE LINE APPLICATION**

SCALE: 1 1/2" = 1' - 0"

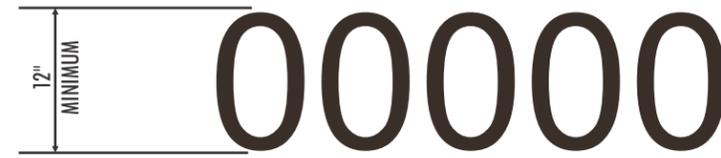
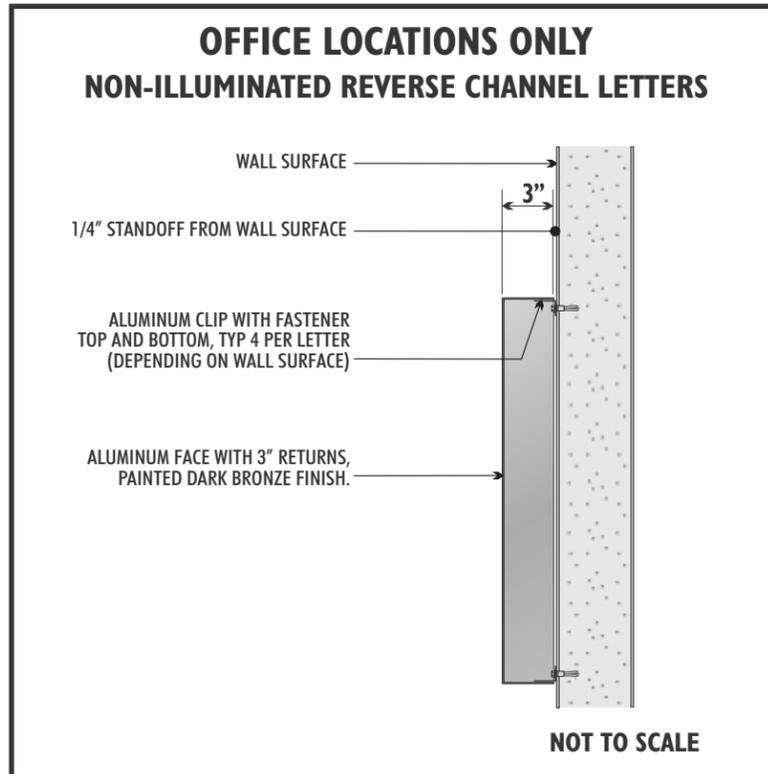
**OFFICE LOCATIONS ONLY :**

NON-ILLUMINATED NUMERALS, FACES AND 3" RETURNS ARE FABRICATED FROM ALUMINUM AND PAINTED DARK BRONZE FINISH. MOUNTED WITH 1/4" STANDOFF FROM WALL SURFACE.

ALL BUILDING DESIGNATORS SHALL BE VISIBLE FROM THE STREET

FOR REFERENCE ONLY  
NO CHANGE TO SIGN DESIGN

# TYPICAL OFFICE WALL ADDRESS NUMERALS



**ONE LINE APPLICATION**

SCALE: 3/4" = 1' - 0"

**OFFICE LOCATIONS ONLY :**

NON-ILLUMINATED NUMERALS, FACES AND 3" RETURNS ARE FABRICATED FROM ALUMINUM AND PAINTED DARK BRONZE FINISH. MOUNTED WITH 1/4" STANDOFF FROM WALL SURFACE.

ALL BUILDING ADDRESS SHALL BE VISIBLE FROM THE STREET  
AS REQUIRED BY FIRE MARSHALL

FOR REFERENCE ONLY  
NO CHANGE TO SIGN LOCATIONS

**SIGN KEY**

	<b>CANY</b>
<b>A1 A2</b>	<b>J</b>
	<b>BLDG. 2</b>
<b>B</b>	<b>K</b>
	<b>00000</b>
<b>C</b>	<b>L</b>



**SITE PLAN - SIGN LOCATIONS**  
SCALE 1" = 140'-0"



**EXHIBIT - M**

Canyon Trails Plaza / Phase 2

ESTRELLA PARKWAY & VAN BUREN STREET  
GOODYEAR, ARIZONA

# CANYON TRAILS PLAZA PHASE 2 GOODYEAR, ARIZONA for EISENBERG COMPANY

## PROJECT DATA

ZONING	PAD/C-2
<b>BUILDING DATA</b>	
MAJOR GARDEN CENTER	16,500 SF
OFFICE	5,600 SF
SHOPS	67,850 SF
PADS	20,796 SF
TOTAL	21,148 SF
TOTAL	131,694 SF

## PARKING DATA

TOTAL REQ. RETAIL 1/300	148 SP
GARDEN CENTER (MIN. 4 SP)	4 SP
TOTAL REQ. OFFICE 1/300	113 SP
TOTAL REQ. MEDICAL 1/150	228 SP
REQUIRED RESTAURANT @ 1/50	142 SP
REQUIRED RESTAURANT @ 1/150	41 SP
REQUIRED RESTAURANT @ 1/150 (OUTDOOR DINING SPACE)	2 SP
TOTAL REQUIRED	676 SP
TOTAL PROVIDED	791 SP

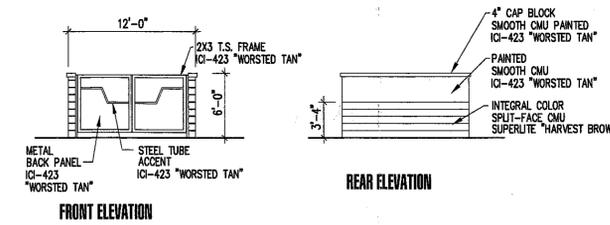
ACCESSIBLE REQUIRED	18 SP
ACCESSIBLE PROVIDED	24 SP

## SITE DATA

AREA	±855,486 SF = ±19.6 AC
COVERAGE	15.4%

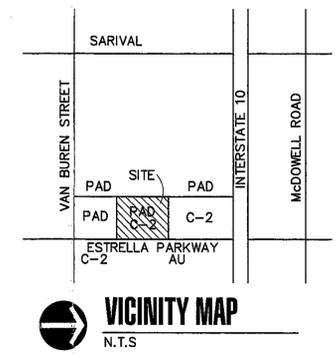
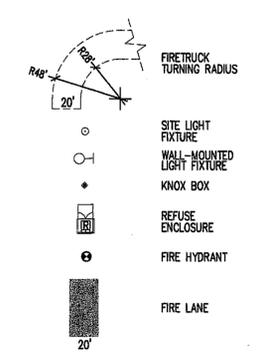
## GENERAL NOTES

- PADS 2 & 3 (FAST FOOD WITH DRIVE-THRU) WILL REQUIRE FUTURE USE PERMIT REVIEW AND APPROVAL AND SUBSEQUENT SITE PLAN REVIEW. REVIEW OF THIS SITE PLAN DOES NOT CONSTITUTE REVIEW OR APPROVAL OF THESE PADS.
- ALL SIGNAGE WILL REQUIRE REVIEW AND APPROVAL UNDER A SEPARATE PERMIT.
- ALL LANDSCAPING TO BE PRIVATELY MAINTAINED.
- FIRE SPRINKLER AND FIRE ALARM PLANS ARE REQUIRED FOR NEW CONSTRUCTION.
- FIRE ALARM CONTROL PANEL (F.A.C.P.) FOR MULTI-TENANT BUILDINGS SHALL BE LOCATED IN THE RISER ROOM OR MECHANICAL ROOM AND FUTURE TENANTS SHALL TIE INTO EXISTING F.A.C.P. (EXCEPT ANCHORS.)
- TWO (2) SEPARATE WATER SOURCES REQUIRED FOR FIRE LINES.
- SEVEN FT. (7') MINIMUM CLEARANCE FROM FIRE EQUIPMENT IN ALL DIRECTIONS TO NEW LANDSCAPE.
- SPEED BUMPS ARE NOT ALLOWED TO BE LOCATED IN FIRE ACCESS AREAS.



TYP. REFUSE ENCLOSURE

## LEGEND



## OWNER/DEVELOPER

EISENBERG COMPANY  
2231 E. CAMELBACK ROAD  
SUITE 215  
PHOENIX, AZ 85016  
ATTN: CRAIG EISENBERG  
PHONE: (602) 468-6100  
FAX: (602) 468-6103

## ARCHITECT

ELLERMANN, SCHICK & BRUNO  
1555 E. ORANGEWOOD AVE.  
PHOENIX, AZ 85020  
ATTN: KIRT BARR  
PHONE: (602) 266-6202  
FAX: (602) 265-6212

## CIVIL ENGINEER

STANTEC CONSULTING, INC.  
8211 S. 48TH STREET  
PHOENIX, AZ 85044  
ATTN: TOM LENZYCKI  
PHONE: (602) 438-2200  
FAX: (602) 431-9562

## LANDSCAPE ARCHITECT

PINNACLE DESIGN  
4343 E. CAMELBACK RD. SUITE 100  
PHOENIX, AZ 85018  
ATTN: BILL FRANCIS  
PHONE: (602) 952-8585  
FAX: (602) 952-8686



## site plan

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24000  
07 SEPTEMBER 2005  
REVISED 21 DECEMBER 2006  
REVISED 22 FEBRUARY 2008  
REVISED 24 MARCH 2008



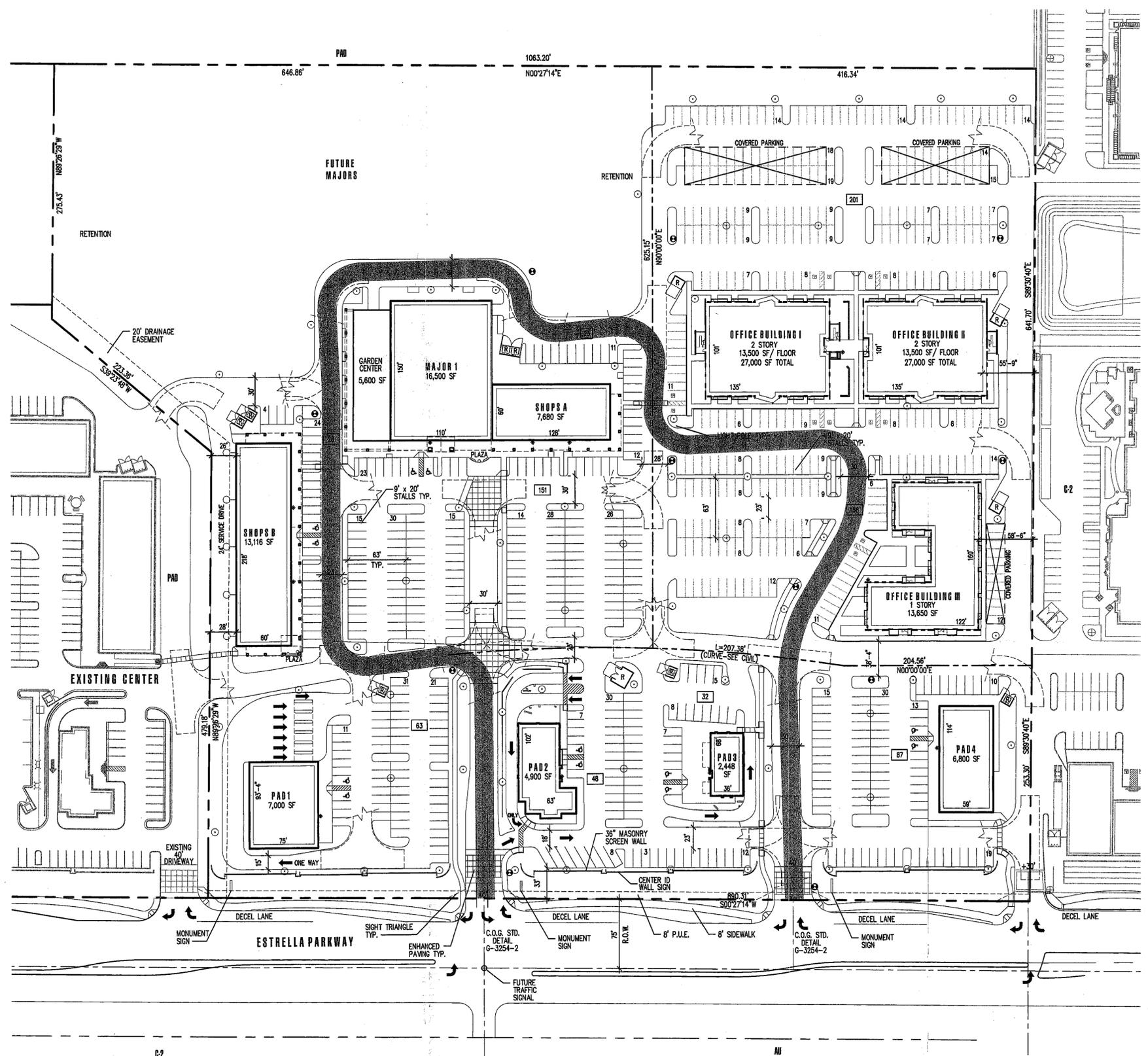
APPROVED  
APR 07 2006

PLANNING & ZONING  
WITH STIPULATIONS  
CASE 05-160-00036  
RICK WILLIAMS

## ELLERMANN, SCHICK & BRUNO

ARCHITECTURE PLANNING  
1555 E ORANGEWOOD AVE PHOENIX AZ 85020  
TEL 602 266 6202 FAX 602 265 6212

05-6000036-001



## TYP. SCREEN WALL

SCALE 1/8" = 1'-0"

