

GOODYEAR PLANNED REGIONAL CENTER

Planned Area Development

Prepared for:

Globe Corporation
&
Westcor

Submitted August 31, 1999

Revised October 15, 1999

Revised November 9, 1999

GOODYEAR PLANNED REGIONAL CENTER

Planned Area Development Table of Exhibits

Tab 1	Vicinity Map
Tab 2	Existing General Plan
Tab 3	Development Plan
Tab 4	Circulation Plan
Tab 5	Conceptual Entry Features and Landscaping
Tab 6	Permitted Uses
Tab 7	Commercial Design Guidelines
Tab 8	Residential Design Guidelines
Tab 9	Company Descriptions

GOODYEAR PLANNED REGIONAL CENTER

Planned Area Development Table of Contents

1. Overview.....	1
Introduction	1
Site Location	1
2. Existing Conditions	1
Existing Land use.....	1
Adjacent Land Use.....	2
Existing Zoning.....	2
Existing General Plan.....	2
3. Project Philosophy & Description	2
Development Plan.....	2
Proposed Land Uses.....	3
Circulation.....	5
Landscaping.....	5
4. Development Standards.....	5
Permitted Uses.....	5
Development Standards.....	6
5. Design Guidelines.....	7
6. Project Phasing.....	7
7. Development Team.....	8
8. Conclusion.....	9

GOODYEAR PLANNED REGIONAL CENTER

Planned Area Development

1. Overview

Introduction

This application is being submitted in support of a rezoning request for approximately 605 acres located at the northwest corner of Bullard Avenue and McDowell Road in Goodyear, Arizona. The rezoning request from Agriculture (AG), to Planned Area Development (PAD) is to allow a mixed use development consisting of a regional shopping center, power center, associated retail and service uses, office, multi-family and single-family uses.

This document provides a summary of the existing conditions relative to the site and surrounding properties, a description of the proposal, development standards and guidelines, and phasing of development.

Site Location

The Goodyear Planned Regional Center (PRC) is nearly one square mile (605 acres) that is located less than ¼ of a mile north of Interstate 10. The site is bounded by the Thomas Road alignment to the north, McDowell Road to the south, Pebble Creek Parkway to the west and Bullard Avenue to the east. The vicinity map shown behind Tab 1 illustrates the site and its relationship to surrounding development and the City in general. The site is located in the northern portion of Goodyear's city limits and planning area. Palm Valley is located east of the site and Pebble Creek abuts the site to the north and west.

The Bullard Wash runs through the site, sloping towards the south. The wash alignment is located at approximately the half-mile point between Pebble Creek Parkway and Bullard Avenue.

2. Existing Conditions

Existing Land use

The site is currently being used for agricultural purposes. There is one homesite located near the northeast corner of the site. There are irrigation canals and dirt roads that traverse the site. The Roosevelt Irrigation District (RID) Canal runs along the Thomas Road alignment, turning to the south near the western property boundary. As mentioned earlier, the Bullard Wash passes through the site, flowing north to south.

Adjacent Land Use

Development is currently underway or proposed on the north and east boundaries. Agrarian uses are adjacent to the site to the east, west, and south. The land east of the site is under development into Phase II of Palm Valley. North of the site is developed with residential and golf course.

The General Plan Land Uses for the square mile west of the site includes commercial, high density residential (12-25 DU/ac), medium density residential (5-12 DU/ac) and open space. North of the site is Phase 1 of Pebble Creek, which is developed with medium density single family residential (5-12 DU/ac) and a golf course. Pebble Creek is an age restricted master planned development.

East of the subject site is a portion of Palm Valley, also undeveloped but part of an approved master plan. Directly abutting the Goodyear PRC site are approved residential land uses that range from low density (0-4 DU/ac) to medium density (6-12 DU/ac). Retail/commercial is approved for the northeast corner of McDowell Road and Bullard Avenue.

Existing Zoning

The existing zoning on the site is Agriculture (AG).

Existing General Plan

The General Plan designates a number of uses for the site. The primary designation is Commercial, encompassing nearly the southern two-thirds of the square mile. The balance of the square mile is designated for High Density Residential (12+ DU/ac), Medium High Density Residential (5-12 DU/ac), and Medium Density Residential (2-5 DU/ac). The area designated for High Density is adjacent to the commercial area. The Medium Density area separates the High Density area from Pebble Creek. The triangle bounded by Pebble Creek Parkway, the Thomas Road alignment, and the R.I.D. Canal is designated Medium High Density. The existing General Plan is shown behind Tab 2.

3. Project Philosophy & Description

Development Plan

In accordance with the City's General Plan, the Goodyear PRC provides an opportunity to locate a regional mixed-use development in Goodyear. The PRC will include uses such as regional shopping center, power center, hotels, entertainment, office space and housing. The site is well suited for these types of uses for the following reasons.

1. Access

Interstate 10 is less than $\frac{1}{4}$ of a mile south. An interchange is currently located at Estrella Parkway/ Pebble Creek Parkway and I-10. An interchange is planned for Bullard Avenue. Once constructed, this will provide an interchange both east and west of the site.

2. Location

This regional shopping center will serve the Goodyear area, Litchfield Park and other surrounding communities, providing a locational advantage over the nearest existing malls: Arrowhead Towne Center (20 driving miles to the north) and Desert Sky Mall (9.5 driving miles east). With the Bullard Wash traversing the site, this is a great opportunity to connect the PRC and the City Center with an open space/trail system that will allow residents to walk from their homes to either facility.

3. Population Base

The planned and approved master planned communities in the area will provide a sufficient population base for the PRC. It is anticipated that when construction begins on the regional shopping center component of the PRC, the appropriate population will be present.

The site has some unique features that have influenced the design of the project. These features include the Bullard Wash, the RID Canal, Pebble Creek, and the adjacency of Interstate 10 and nearby land uses. These features provide the opportunity to offer homes in close proximity to a major employment center so that it is possible to walk or ride a bicycle to work. A person that works at the PRC has the ability to live less than a mile away.

This site provides a great opportunity for the citizens of Goodyear. In addition to a regional core providing living, working and shopping opportunities, the project provides an opportunity to contribute to Goodyear's open space and recreational needs. The applicant is committed to making the 54 acres of wash area available to the City. Consistent with the goals of the General Plan, this open space/trail system could connect the PRC with the City Center, and provide a linkage with the Gila River and Estrella Mountain Regional Parks.

This project will benefit the residents of Goodyear by providing an opportunity to work, live, shop and recreate in one square mile, as well as extending retail services and employment to a regional market. It is estimated at this time that approximately 8,000 jobs will be generated by the project (based on an average of 400 gross square feet per employee). The Development Plan is behind Tab 3.

Proposed Land Uses

The land uses proposed as part of this plan include:

- Regional Center
- Mixed-Use Commercial
- Multi-Family (18 DU/ac)
- Townhomes (12 DU/ac)
- Single Family Court Homes (6.5 – 8.0 DU/ac)
- Single Family (3.5 DU/ac, 4.0 DU/ac, 4.5 DU/ac)
- Open Space/Wash

The proposed land uses and their configurations are consistent with the General Plan.

The Medium Density Single Family component of this project consists of Parcels 9, 10, and 11, along with that portion of the Bullard Wash open space between Parcels 10 and 11. The proposed design for this area includes three different lot sizes to provide a diversity of housing types for future residents along with an abundance of useable open space, as demonstrated in the Single Family Lot Layouts (Tab 3). Table 1 shows the data used to determine the overall density for the Single Family lots:

Table 1
Project Density

Parcel No.	Lot size	Area, acres	Density, DU/ac	Total No. of Units
9	60 x 110	40.9	4.0	163
10	70 x 110	34.1	3.5	119
11	55 x 110	30.3	4.5	136
Bullard Wash		12.5		
Total		117.8		418

Overall Density = 418 Units ÷ 117.8 acres = 3.55 DU/ac

Open Space for the Medium Density Single Family is provided as shown in Table 2 below:

Table 2
Open Space

Type of open space	Area, acres
Bullard Wash	12.5
Pocket Parks	1.8
Bullard Avenue setbacks/ retention	2.0
Landscape along internal arterials	1.8
Total	18.1

Percent of open space = 18.1 acres ÷ 117.8 ac = 15.4%

Although this project slightly exceeds the recommended target density of 3.5 DU/ac, there seems to be significant justification to do so, including the following:

- The minimum required open space is exceeded by 0.5 acres
- Subdivisions are designed to provide convenient access to Bullard Wash and the regional trail system.
- The open space provided is physically and visually accessible because a large portion of it is adjacent to roadways.
- The Single Family component of this project is part of regional facility which will allow people to live, work, shop and play within a one square mile area, reducing their vehicular trips and the associated adverse impacts.

Circulation

Primary access to the site will be provided via Bullard Avenue, McDowell Road and Pebble Creek Parkway. Because there is not an arterial located along the north property line (Thomas Road alignment), a minor arterial is proposed that aligns with the arterial roads already designed on adjacent parcels. This circulation spine will provide access to the residential component of the plan as well as the commercial, mixed-use commercial and multi-family parcels.

A north/south corridor is also proposed west of the regional center site. This corridor provides an internal link between Bullard Avenue and McDowell Road.

A freeway interchange is currently located at Estrella Parkway and an interchange is planned at Bullard Avenue.

The Circulation Plan shown behind Tab 4 illustrates the roadways within and adjacent to the site. Sections for these roads are discussed in the Circulation Plan Analysis prepared by BRW.

As specific site plans are developed and presented for site plan review, accommodation of transit and/or other multi-modal systems (if applicable) will be considered and incorporated as appropriate into the plans.

Landscaping

Entry features will be provided at the primary entrance into the regional facility and at the entrances into each of the residential neighborhoods. The entry features will be designed with similar shapes and features that will create a unified theme. For the commercial entries, bright colors and strong features may be used. For the residential entries, the colors will be subdued and a scale more appropriate for residential neighborhoods. Landscaping will incorporate the Fire Department's no-plant zone criteria. Conceptual entries are located behind Tab 5.

4. Development Standards

The Site's location, General Plan designation and land uses justify and require development standards that are customized for the PRC. The standards reflect realistic standards and uses that have been successfully used for similar projects.

Permitted Uses

There are not comparable zoning districts within the existing Zoning Ordinance for the Mixed Use Commercial and Regional Shopping Center proposed as part of this PAD. Therefore, a list of uses permitted and uses that require a use permit has been created for this proposal. It is located behind Tab 6.

Development Standards

Development standards for each of the land uses are shown in Tables 3 through 5.

Table 3
Commercial Development Standards

	Mixed-Use Commercial	Regional Shopping Center
Maximum Building Height ¹	40' Retail & Services 60' Office and Hotel	60'
Building Setbacks	Front: 30 feet Side: 20 feet Street side: 30 feet Rear: n/a	Front: 30 feet Side: 20 feet Street side: 30 feet Rear: n/a
Maximum Lot Coverage ²	40%	40%
Parking Ratio	4/1000 sq. ft. Retail 4/1000 sq. ft. Office 1/Hotel room	4/1000 sq. ft. Retail 4/1000 sq. ft. Office 1/Hotel room
Maximum Floor Area ² Ratio	.5 F.A.R.	.5 F.A.R.
Landscaping	15% of the net site/lot area	15% of the net site/lot area

¹ Exclusive of parapet walls, mechanical screening, elevator penthouses and architectural embellishments such as cupolas, domes, monuments and towers. The number of stories is not restricted (within maximum Building Heights identified).

² References throughout this chart to "Lot Coverage" and "Floor Area Ratio" are to parcel-by-parcel averages. For example, on the Regional Shopping Center Parcel, the Lot Coverage (over the entire Regional Shopping Center Parcel) will not exceed 40% and the Floor Area Ratio (over the entire Regional Shopping Center Parcel) will not exceed .5. Lot coverage shall mean that portion of the lot or parcel (exclusive of public right-of-way) that is covered by buildings (exclusive of parking canopies and structures). Floor Area Ratio shall be the ratio of the gross floor area of the buildings on a parcel to the gross land area of such parcel which gross land area may include one half of all abutting streets and alleys which are dedicated to public use.

Table 4
Multi-family & Residential Townhome Development Standards

Use	Min. Lot Width	Min. Lot Depth	Max. Bldg. Height	Minimum Yard Setbacks			Street Side	Max. Lot Coverage	Open Space
				Front	Rear	Sides			
Multi-family 18 DU/ac	200'	100'	30'	30'	30'	20'	20'	50%	400 sq. ft/du
Townhomes 12 DU/ac	35'	80'	30'	5'	0/15*	-	10'	75%	200 sq. ft/du

* 0 rear allowed for garages served by alleys.

Table 5
Single Family Residential Development Standards

Use	Min. Lot Area	Min. Lot Width	Min. Lot Depth	Max. Bldg. Height	Minimum Yard Setbacks			Street Side	Max. Lot Coverage
					Front*	Rear	Sides**		
Single Family 3.5 DU/ac	6,000	60'	100'	30'	20'	20'	5'/15' total	15'	40%
Single Family 4.0 DU/ac	5,000	55'	90'	30'	20'	20'	5'/15' total	10'	45%
Single Family 4.5 DU/ac	5,000	55'	90'	30'	20'	20'	5'/15' total	10'	45%
Court Homes 6.5 – 8.0 DU/ac	3,200	40'	80'	30'	20'	15'	0/10'total	10'	60%

* A minimum of 10-foot front setback measured from the property line is permitted for side entry garages.

** Total both sides – 15'

5. Design Guidelines

The guidelines contained in this PAD are intended to guide design of the future phases of development. Site plan review will still be required as detailed in the City of Goodyear Zoning Ordinance for any of the commercial or office parcels. Prior to submittal to the City of Goodyear, all commercial projects will be reviewed by Westcor to ensure compliance with the Commercial Design Guidelines. Any single family residential development will be required to follow the platting process defined in the City of Goodyear Subdivision Regulations. Commercial Design Guidelines are located behind Tab 7. Residential guidelines for both multi-family and single-family residential are located behind Tab 8.

6. Project Phasing

Development of the project is expected to occur in accordance with market demand in four or more phases. The first phase of development is anticipated to be the single family residential located in the northern portion of the site, totaling 105± acres. Phase 2 is anticipated at the southwest corner of the site with the 58± acre mixed-use commercial parcel. This parcel is planned for a power center for big box anchors and/or other mixed-use commercial, office, and service uses.

The third phase is anticipated to consist of 92± acres of court homes, townhouse and multi-family. There are two court home parcels, one located in the triangle at the northwest corner of the project adjacent to Pebble Creek Parkway and the other within the "transitional area" located between the single family parcels and the Regional Shopping Center. The townhouse parcel and one of the multi-family parcels are also located in the "transitional area." The other multi-family parcel is located on the west side of Bullard Wash.

The last phase is anticipated to be the Regional Shopping Center site and the balance of the Mixed-use Commercial parcels.

The implementation of this plan will be accomplished by following the site plan and subdivision processes detailed in the City of Goodyear Zoning Ordinance and Subdivision Regulations.

7. Development Team

Owner	Globe Corporation Attn: Ray Carter 6730 North Scottsdale Road, Suite 250 Scottsdale, Arizona 85253 (602) 991-0500 Fax (602) 991-1912
Regional Shopping Center Development Partner	Westcor Partners Attn: David Scholl 11411 North Tatum Boulevard Phoenix, Arizona 85029-2399 (602) 953-6271 Fax (602) 953-1964
Zoning/Entitlements	Burch & Cracchiolo Attn: Ed Bull 702 East Osborn Phoenix, AZ 85014 (602) 274-7611
Planning Consultant	Cornoyer Hedrick, Inc. Attn: Don Cox 2425 East Camelback, Suite 400 Phoenix, Arizona 85016 (602) 381-4848
Drainage Engineering Consultant	Coe & Van Loo Consultants, Inc. Attn: Greg Rodzenko 4550 North 12 th Street Phoenix, Arizona 85014 (602) 264-6831
Water and Sewer Engineering Consultant	Coe & Van Loo Consultants, Inc. Attn: Stuart Barney 4550 North 12 th Street Phoenix, Arizona 85014 (602) 264-6831
Traffic Engineering Consultant	BRW, Inc. Attn: Amy Moran 3003 North Central Avenue, Suite 700 Phoenix, Arizona 85012 (602) 234-1594

Company descriptions for Globe Corporation and Westcor Partners are provided behind Tab 9.

8. Conclusion

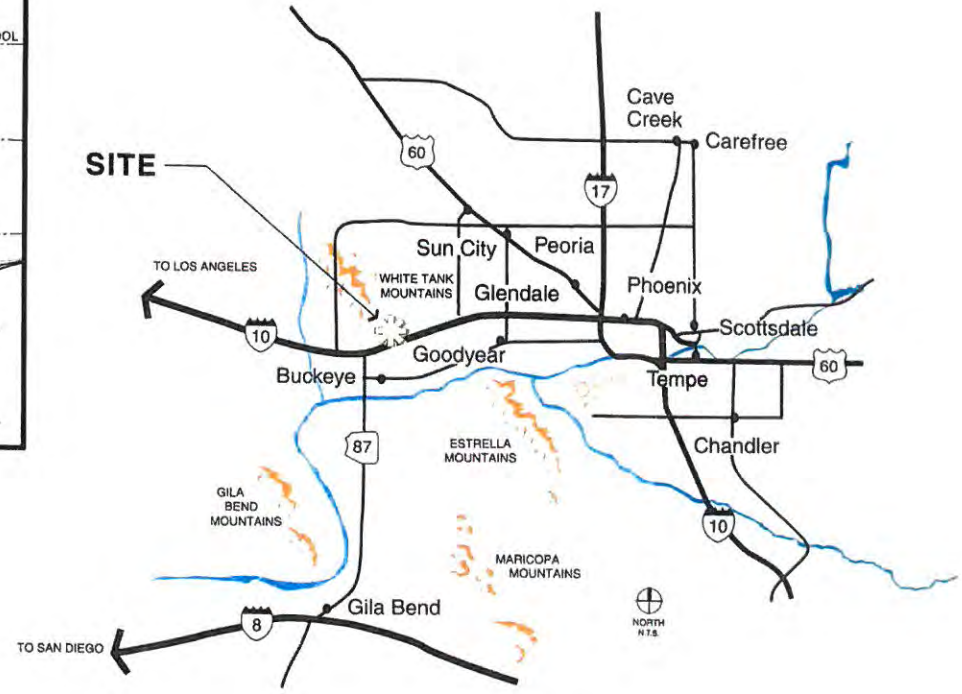
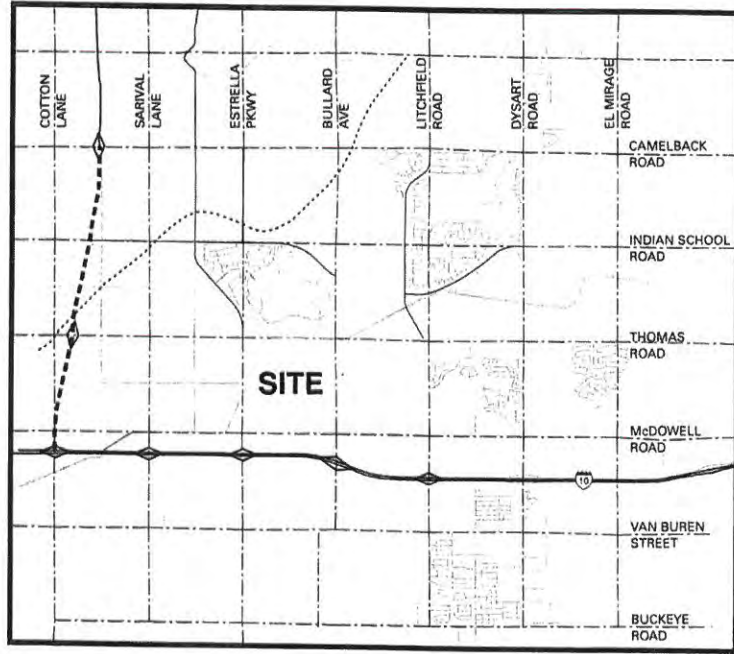
The Goodyear PRC is an exciting opportunity to provide a broad spectrum of uses for the residents of Goodyear and the West Valley. This proposal is in conformance with the General Plan which implements the vision identified by the community. Benefits that will result once the project is complete include housing, recreation, offices, entertainment, retail and other opportunities that will generate revenue and employment for the community.

A decorative border consisting of a continuous line of small, silver-colored paper clips arranged in a rectangular frame around the page.

Tab 1

Vicinity Map

VICINITY MAP
GOODYEAR PRC
 Prepared for: the Globe Corporation



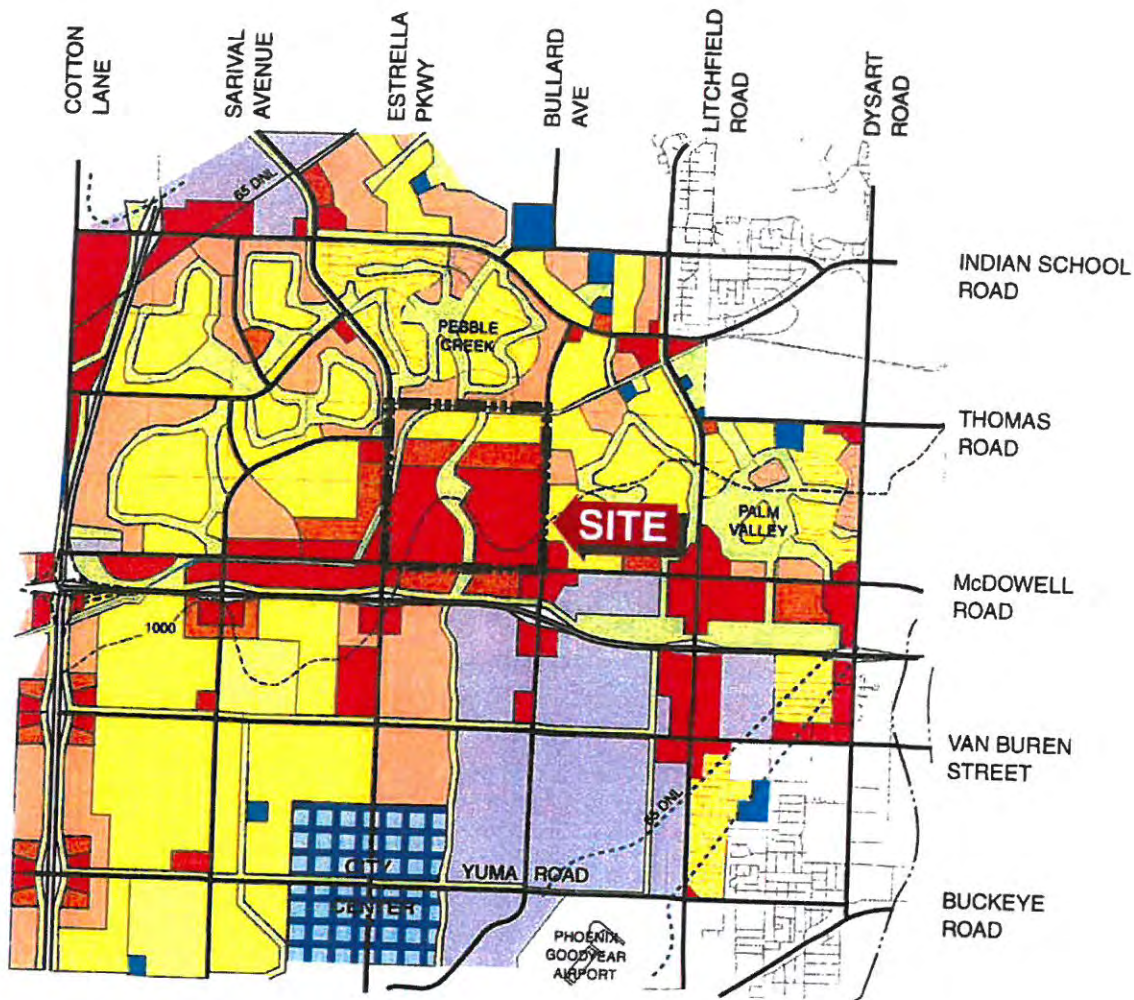
CornoyerHedrick 
 2425 East Camelback Road
 Suite 400
 Phoenix, AZ 85016
 602.381.4848

08120
 5.20.99



Tab 2

Existing General Plan



LEGEND

- | | | | | | |
|---|-----------------------------------|---|----------------------------|---|---------------------|
|  | Low Density
1 DU/ac or less |  | City Center |  | Open Space |
|  | Medium Low Density
1-2 DU/ac |  | Commercial |  | Sensitive Land Area |
|  | Medium Density
2-5 DU/ac |  | Employment |  | Agriculture |
|  | Medium High Density
5-12 DU/ac |  | Airport | | |
|  | High Density
12+ DU/ac |  | Public Facilities/ Schools | | |

EXISTING GENERAL PLAN
GOODYEAR PRC

Prepared for: the Globe Corporation



CornoyerHedrick



2425 East Camelback Road
 Suite 400
 Phoenix, AZ 85016
 602.381.4848

98128
 5.20.99

A decorative border consisting of a continuous line of small, stylized paper clips surrounds the central text. The clips are arranged in a rectangular frame, with the corners being rounded.

Tab 3

Development Plan

DEVELOPMENT PLAN GOODYEAR PRC

Prepared for: the Globe Corporation

LAND USE ALLOCATION

Use	Area, ac
Regional Center	199.3
Mixed-Use Commercial	99.4
Single Family	105.3
Court Homes	37.9
Townhouse	12.0
Multi-Family	42.6
Wash	54.5
Streets	53.8
Total	604.8

RESIDENTIAL PARCELS

Parcel No.	Use	Area, ac	Density, DU/ac	Total No. of Units
5	Multi-Family	24.0	18.0	432
6	Multi-Family	18.6	18.0	334
7	Townhouse	12.0	12.0	144
8	Court Homes	21.2	8.0	169
9	Single Family	40.9	4.0	163
10	Single Family	34.1	3.5	119
11	Single Family	30.3	4.5	136
12	Court Homes	16.7	6.5	108
Subtotal		197.8		1605

Overall Density: 6.37 DU/ac



CornoyerHedrick



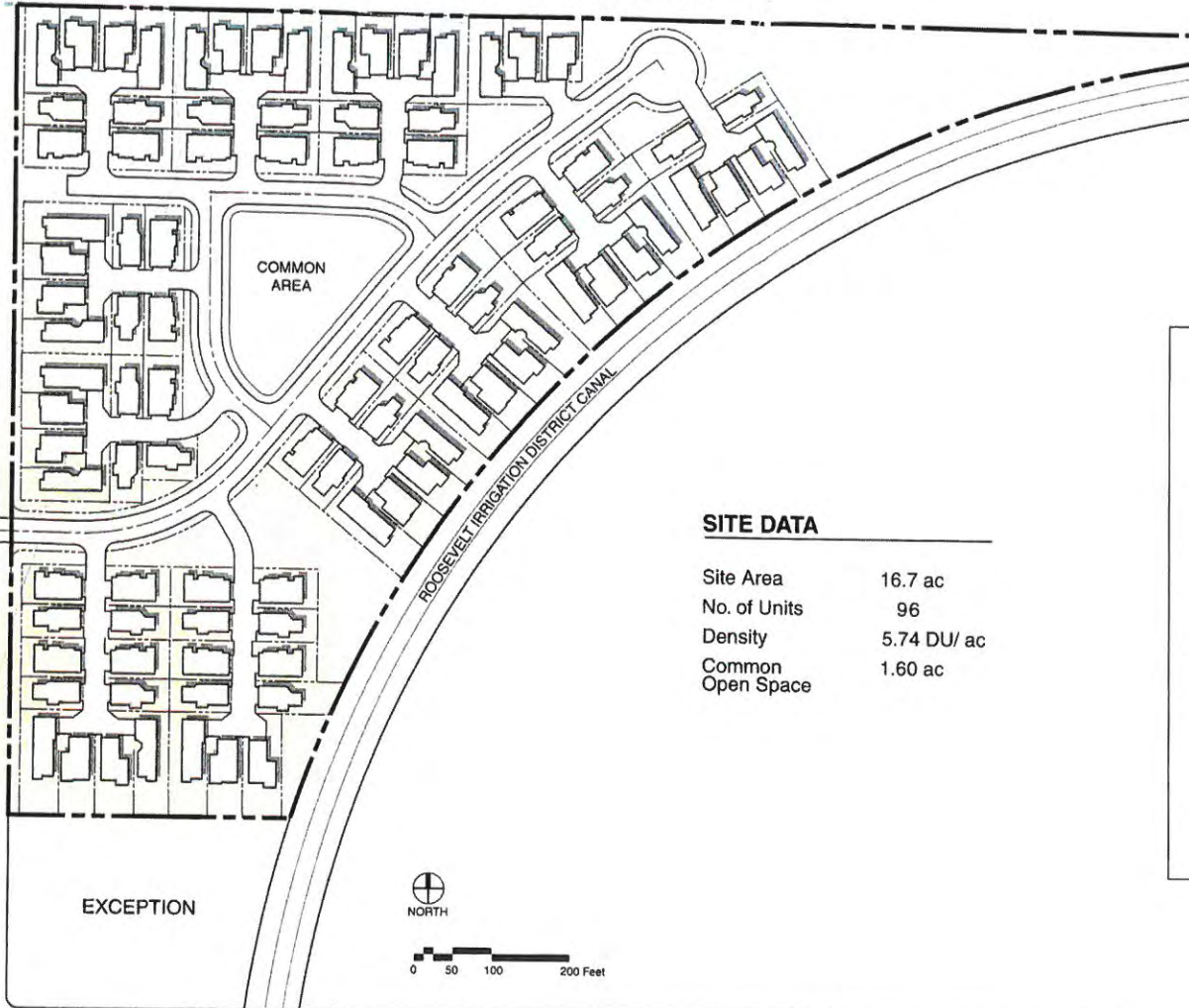
2425 East Camelback Road
Suite 400
Phoenix, AZ 85016
602.381.4848

98128L
10.12.99



PEBBLE CREEK PARKWAY

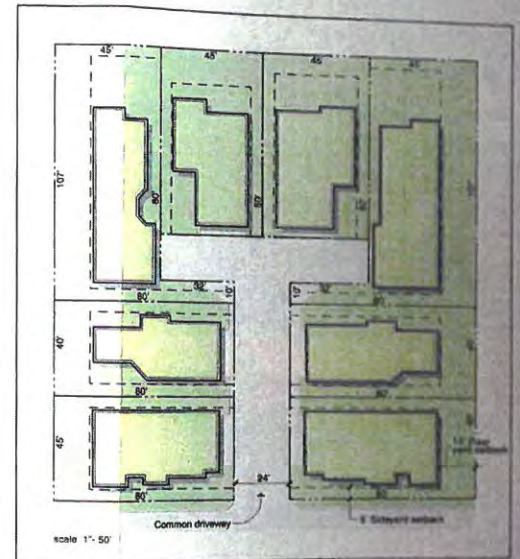
TRANSMISSION LINE EASEMENT



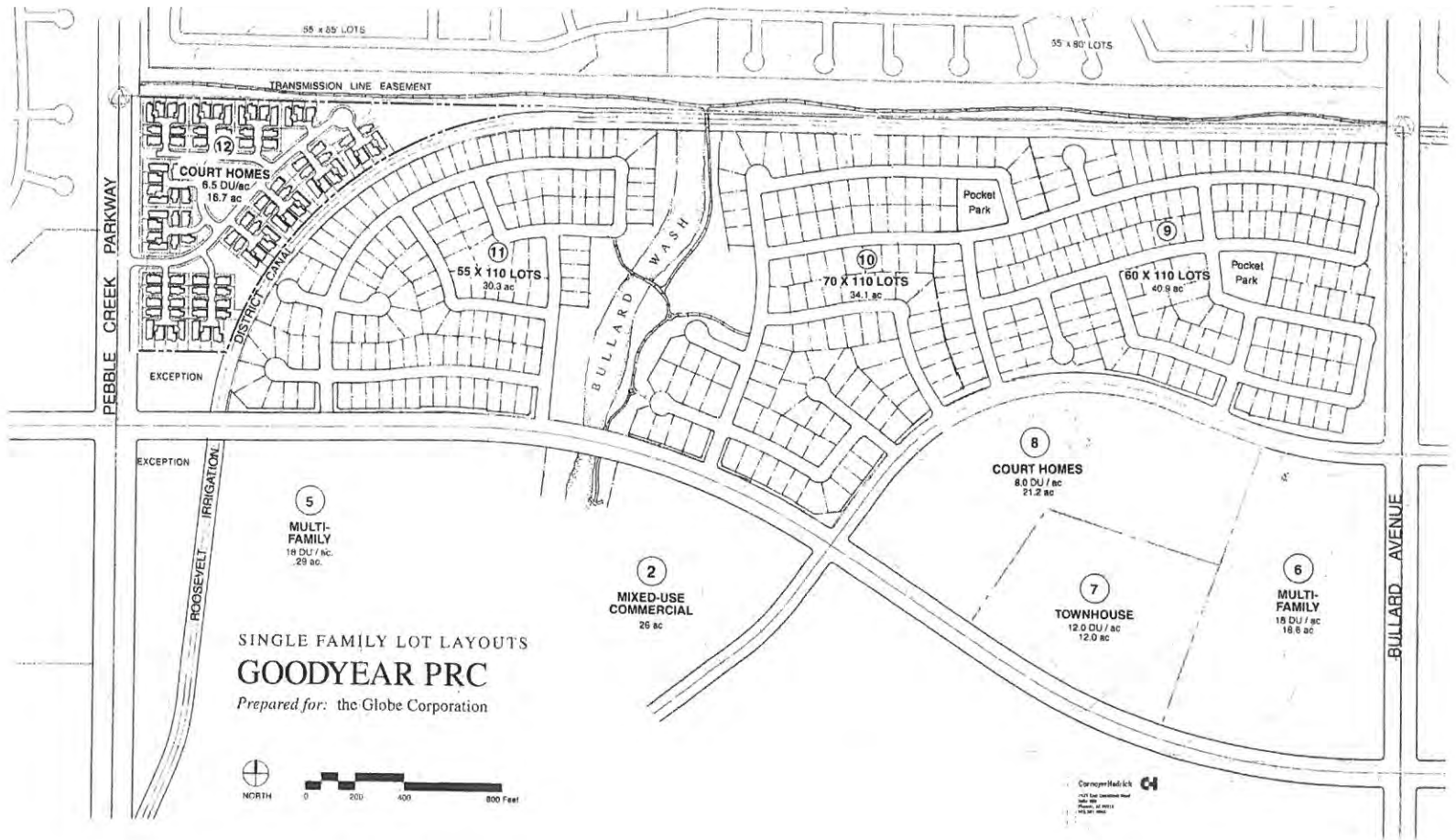
SITE DATA

Site Area	16.7 ac
No. of Units	96
Density	5.74 DU/ ac
Common Open Space	1.60 ac

PARCEL 12 -
COURT HOME LAYOUT
GOODYEAR PRC
Prepared for: the Globe Corporation



TYPICAL COURT



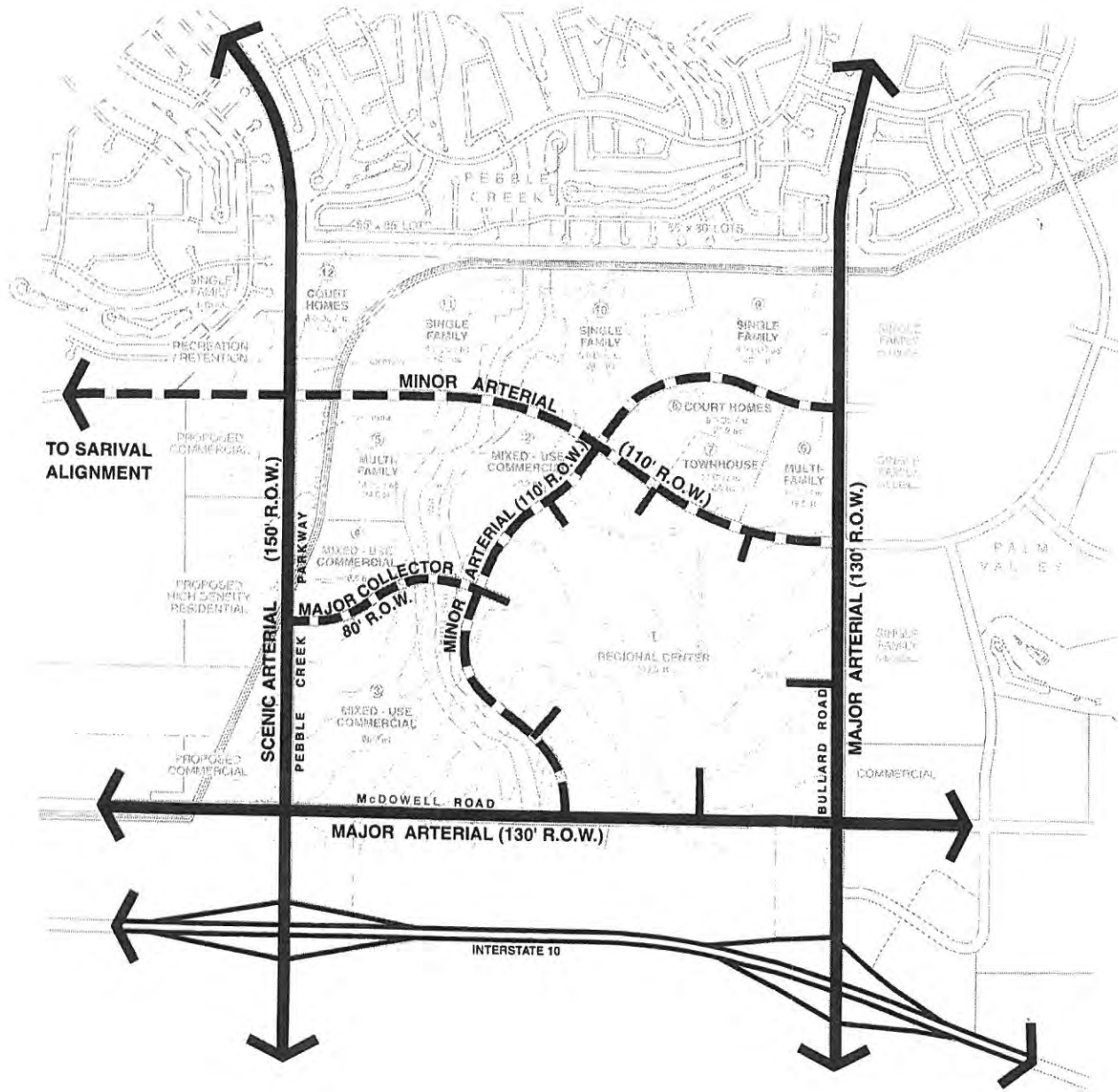


Tab 4

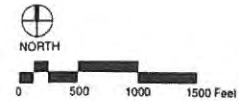
Circulation Plan

CIRCULATION PLAN GOODYEAR PRC

Prepared for: the Globe Corporation



Note: See Section 5.2 of the Circulation Plan Analysis (prepared by BRW) for recommended traffic control and access guidelines.



CornoyerHedrick
 2425 East Camelback Road
 Suite 600
 Phoenix, AZ 85016
 602.981.6044

98128
10.12.09

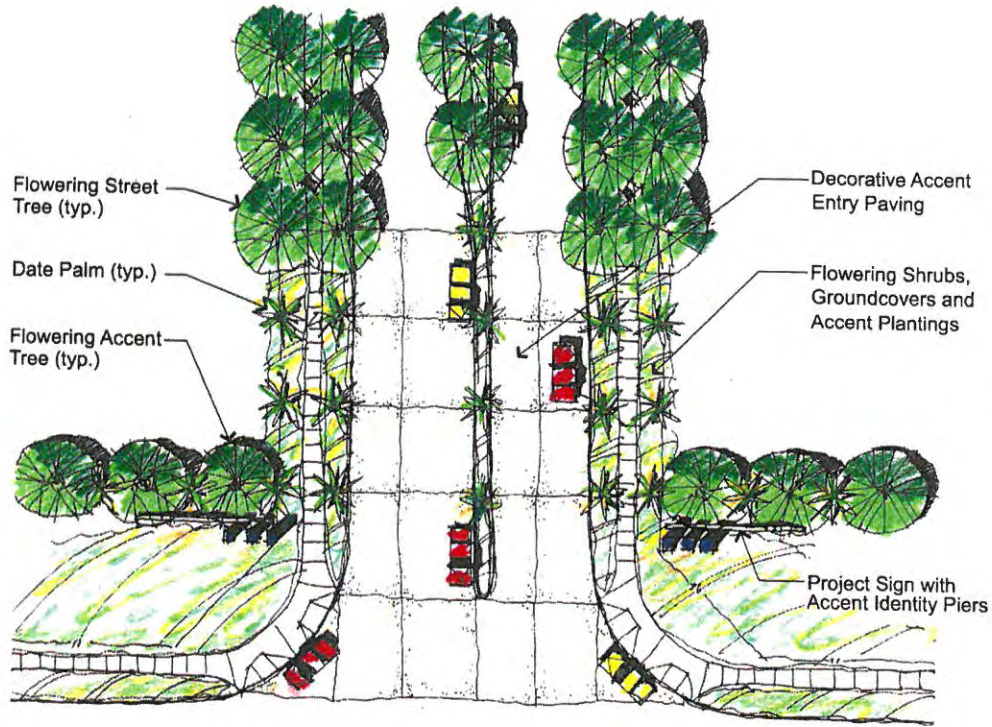


Tab 5

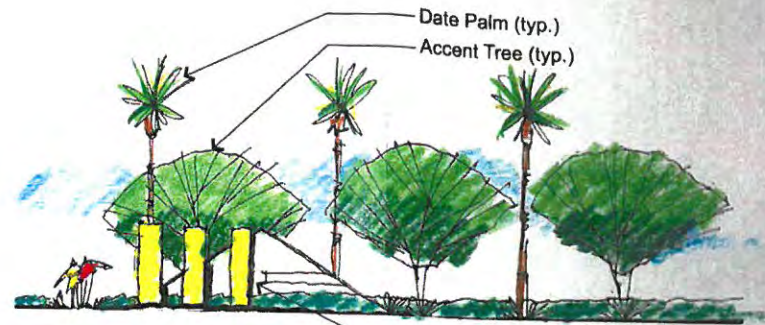
**Conceptual Entry Features
and Landscaping**

LANDSCAPE ENTRY CONCEPTS GOODYEAR PRC

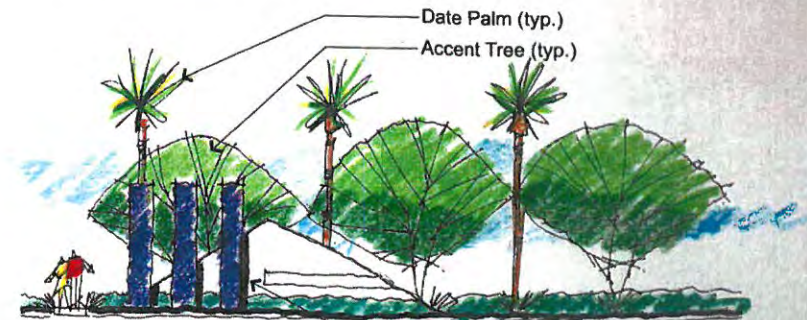
Prepared for: the Globe Corporation



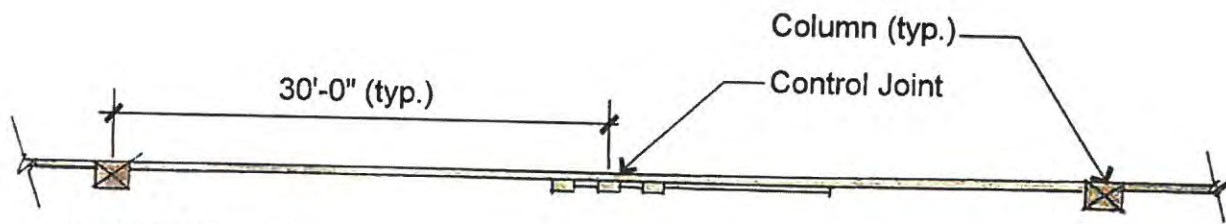
LANDSCAPE ENTRY CONCEPT



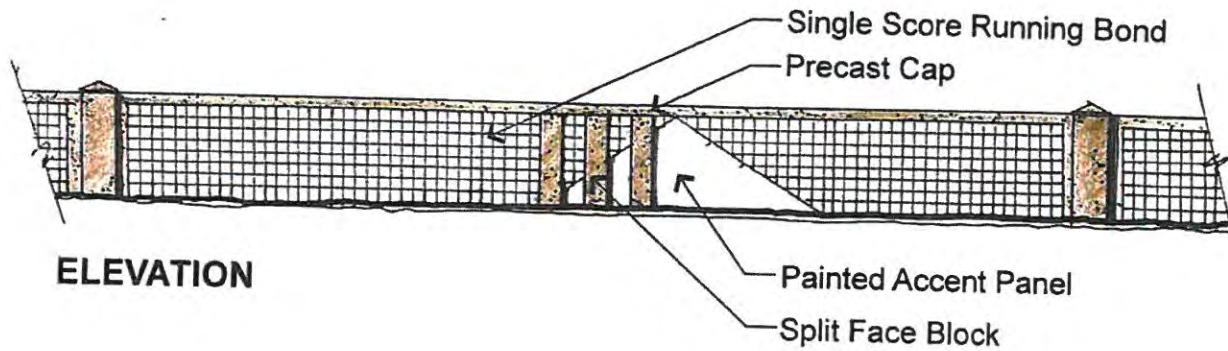
RESIDENTIAL ENTRY CONCEPT



COMMERCIAL ENTRY CONCEPT



PLAN VIEW



ELEVATION

DECORATIVE PERIMETER WALL CONCEPT

GOODYEAR PRC

Prepared for: the Globe Corporation

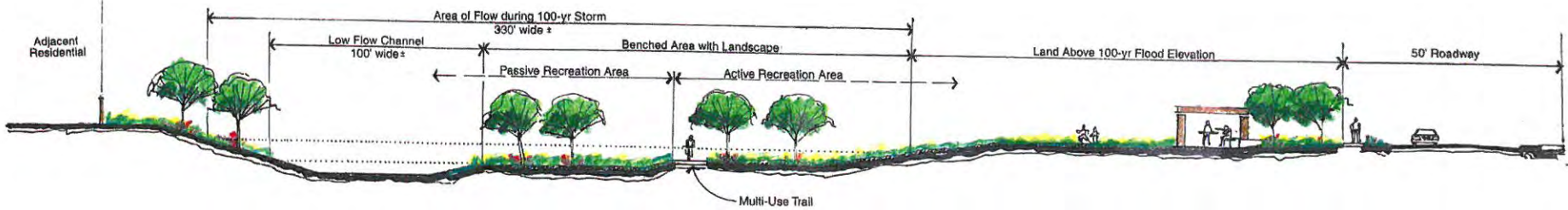
CornoyerHedrick



2425 East Camelback Road
Suite 400
Phoenix, AZ 85016
602.381.4848

98128
5.20.99

BULLARD WASH
CONCEPTUAL CROSS SECTION
GOODYEAR PRC
Prepared for: the Globe Corporation



A decorative border consisting of a continuous line of small, stylized paper clips surrounds the central text.

Tab 6

Permitted Uses

Permitted Uses are shown with a "P" below and the uses that require a use permit are shown with a "UP".

Permitted Uses

Use	Mixed Use Commercial	Regional Shopping Center
Amateur Communication Tower	P	P
Automotive sales	P	P
Automotive service, major	P	P
Automotive service, minor	P	P
Bar, lounge or tavern	P	P
Blood bank, plasma center	UP	UP
Business, trade or technical school	P	P
Car wash	P	P
Carry-out food service	P	P
Cleaning or processing establishments	P	P
Clinics and health care facilities	UP	UP
College and universities	P	P
Commercial amusement, indoor	P	P
Commercial amusement, outdoor	UP	UP
Communication tower	UP	UP
Conference and banquet facilities	P	P
Convenience retail centers	P	P
Convenience storage (mini storage)	UP	UP
Custom manufacturing	P	P
Day care centers (elderly and youth)	P	P
Dry cleaning	P	P
Financial institution with drive through	P	P
Funeral homes	P	P
Game court, lighted	P	P
Game court, unlighted	P	P
Golf, tennis, swim/fitness clubs	P	P
Health Club	P	P
Helistop, heliport	UP	UP
Hospital	UP	UP
Hotels, motels, resorts	P	P
Kennel	UP	
Libraries and museums	P	P
Liquor store	P	P
Machinery and equipment storage, sales and repairs	UP	UP
Medical office	P	P
Medical or scientific laboratories	P	
Mobile office, temporary	UP	UP
Nursing homes	P	
Offices- general, business, professional	P	P
Outdoor event, temporary	UP	P
Outdoor retail sales	P	P
Outdoor storage	UP	UP
Parking lots	P	P
Parking structures	P	P
Parks	P	P
Pawn shops	UP	
Personal service establishments	P	P
Places of public assembly, indoors	P	P
Places of public assembly, outdoors	P	P
Places of worship	P	P
Plant nurseries	P	P
Plant nurseries, retail sales	P	P
Printing services	P	P
Recycling center	UP	UP

Use Permit Required
By Stip. No. 41 of
Ord. No. 00-679



Recycling collection point	P	P
Rental yard, outdoor	UP	
Repair services	P	P
Restaurants, cafeterias, including drive through	P	P
Retail establishments	P	P
Schools, public and private	P	
Studios, fine arts	P	P
Teen club	UP	UP
Television, radio and film studio	P	
Transit terminal	UP	UP
Utility facilities	P	P
Utility service yards	P	
Vehicle and boat sales and rentals	P	P
Veterinary clinic	P	P
Veterinary hospital	P	P



Tab 7

**Commercial Design
Guidelines**

Goodyear PRC
Draft Commercial Design Guidelines

Table of Contents

I. Introduction.....	1
A. Design Theme	1
II. Site Planning Guidelines.....	2
A. Site Grading	2
B. Walls/Fencing Guidelines	2
C. Storage, Waste and Refuse Guidelines.....	4
D. Loading and Service Area Guidelines.....	4
E. Vehicular Circulation and Parking Guidelines	4
F. Pedestrian and Bicycle Circulation Guidelines	7
G. Site Utilities Guidelines.....	7
III. Architectural Guidelines	8
A. General Statement	8
B. Materials and Colors.....	8
C. Façades	8
D. Roofs	10
E. Entries	10
F. Energy Considerations.....	10
IV. Landscape Guidelines	10
A. Overview and General Requirements	10
B. Landscape Setbacks	11
C. Irrigation	11
D. Parcel Maintenance.....	13
V. Signage Guidelines	13
A. Design Criteria.....	15
VII. Construction	15
APPENDIX A.....	17

Goodyear PRC

Draft Commercial Design Guidelines

I. Introduction

Goodyear PRC is a 605 acre mixed-use commercial and residential project located between Estrella Parkway to the west, Bullard Road to the east, the Thomas Road alignment to the north and McDowell Road to the south.

All commercial properties within Goodyear PRC are subject to the Design Guidelines within this document, the requirements of the Goodyear Zoning Ordinance and Goodyear's Building Code. All standards set forth herein are subject to the criteria established in the current Federal, State or City of Goodyear Regulations.

A. Design Theme

The design guidelines are intended to create a contemporary urban theme. This theme is expressed via:

1. Open Space:

The goal of open space is to:

- a. Provide a continuous landscape theme established by project entries and street landscaping.
- b. Provide visual organizing elements such as plazas and open landscaped areas that are pedestrian oriented features that also accent key building complexes.
- c. Provide a visual and recreational link for the community via Bullard Wash.

2. Pedestrian Orientation:

In addition to the open space elements, the entire project will be designed with the pedestrian in mind.

- a. Pedestrian walkways will be designed to link elements within individual project areas, as well as between adjoining land use areas. The goal is a pedestrian friendly environment in which people are comfortable walking from place to place.
- b. Special emphasis will be placed on the ground level to provide visual interest and human scale by the introduction of plazas, sitting areas, shaded areas, water features and the articulation of landscape and hardscape with textures.

3. Building Design:

The overall project theme is a contemporary urban theme. This character promotes an architecture that focuses on qualities of surface, light and shadow, massing and building form, and space as it relates to other buildings and the outdoor environment.

- a. Building design will be characterized by effective use of building massing, intersecting wall planes, punched openings, deep recesses, shade, natural materials, and play of light and shadow.
- b. Buildings will be designed to breakup large masses. Emphasis will be placed at the pedestrian level with the use of traditional materials, textures and increased building articulation.

II. Site Planning Guidelines

A. Site Grading

The purpose of the Site Grading Guidelines is to unify the grading of Goodyear PRC in terms of earth form, retention of storm water and compatibility of relationships between buildings, parking, roads and adjacent properties. All site grading, therefore, shall conform to the following requirements:

1. Lot grading will be done in such a way as to provide positive drainage.
2. No cut or fill slopes of any type shall be steeper than 4:1 with smooth vertical transitions. Where space limitations demand, terracing with approved retaining walls shall be utilized.
3. Where retaining walls are required, they shall be of a material compatible with the building architecture.
4. Berms, channels, swales, etc. shall be graded in such a way as to be an integral part of the grading and paved surface and designed with smooth vertical transitions between changes in slope (See Figure 1).

Berms shall not exceed 3'-6" in height above finished grade. Swales and other water control or retention areas shall have a natural land form appearance. Avoid hard edges and the creation of a trough-like appearance (See Figure 2).

5. Storm water shall be retained on site where necessary in conformance with the City of Goodyear Standards and Goodyear PRC Drainage Plan.

B. Walls/Fencing Guidelines

The purpose of the Walls/Fencing Guidelines is to provide for security, screening of unsightly areas, visual relief and buffering.

1. Objects such as water towers, storage tanks, processing equipment, cooling towers, communication equipment, vents and any other structures or equipment shall be compatible with the building architecture or screened from adjacent properties, parking areas, public streets and pedestrian walkways by using fences and/or walls.
2. Screen fences or walls shall be of a height at least equal to that of the materials or equipment being stored or screened.
3. Materials and colors for fences and walls shall be compatible with the building architecture.
4. Chain link, barbed wire, or razor wire fencing are not permitted.
5. No fence or wall shall exceed a height of 8'-0" unless otherwise approved by the Community Development Director.
6. There shall be no fences within building setbacks and walls within building setbacks shall be no more than 3'-6" high.
7. Design of any gates will be compatible with building architectural character and materials.

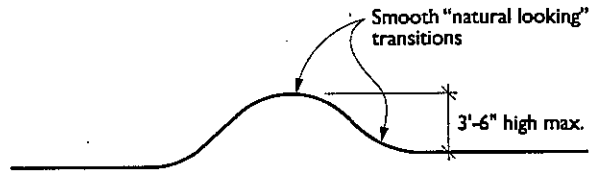
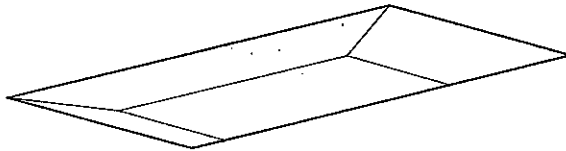


Figure 1 - Land Form Grading

Avoid rectangular "trough-like" appearance



"Natural look" is preferred

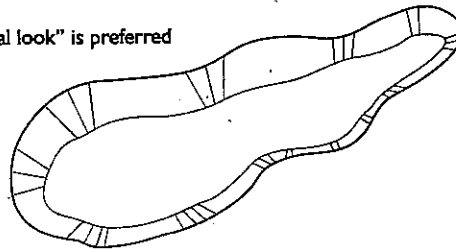


Figure 2 - Grading for swales and retention areas

C. Storage, Waste and Refuse Guidelines

The purpose of the Storage, Waste and Refuse Guidelines is to insure that all stored material will be screened from adjacent properties, parking areas, public streets and pedestrian walkways.

1. No articles, goods, materials, machinery, equipment, vehicles, plants, trash, waste or refuse or similar items shall be exposed to view from adjacent properties, parking areas, public streets or pedestrian walkways.
2. Any article, good, or material to be stored other than in an enclosed, covered building shall be enclosed either with a screen fence or wall (refer to Fencing Guidelines).
3. Vehicles shall be stored in specifically designated areas only. If vehicles are to be stored for more than 48 hours, they shall be stored in an area screened from public streets and pedestrian walkways unless a part of an auto mall or auto retail uses.. There are not storage limitations associated with vehicle sales conducted as a part of an auto mall or auto retail uses.
4. All outdoor refuse collection areas shall be visually screened by recessing the structure or by an 8'-0" high gated enclosure. A minimum of one, eighteen (18) square foot refuse enclosure shall be provided for each forty thousand (40,000) gross square feet or fraction thereof of building area. (Figure 3)

Collection areas must be situated to provide clear and convenient access to refuse collection vehicles.

Gates are to be compatible with architectural character, and opaque.

D. Loading and Service Area Guidelines

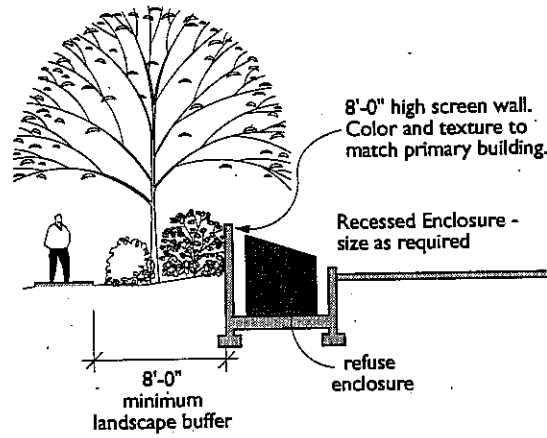
The purpose of the Loading and Service Area Guidelines is to provide for the design of loading and servicing areas in a functional and aesthetically pleasing manner.

1. Loading and servicing areas adjacent to public streets or building entries shall be screened as appropriate with walls, berms, landscaping, and/or other techniques. (Figure 4)
2. Loading and servicing areas shall be designed as an integral part of the building architecture.
3. Loading and servicing areas shall be designed so that the entire loading or servicing operation is conducted within the confines of the building site.

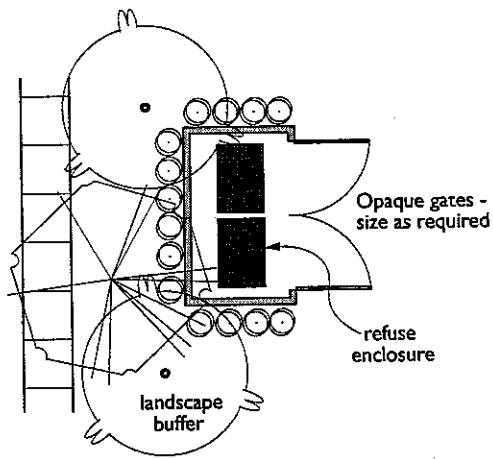
E. Vehicular Circulation and Parking Guidelines

The purpose of the Vehicular Circulation and Parking Guidelines is to provide for safe and convenient movement of motor vehicles within Goodyear PRC.

1. All parking facilities on each site shall be sufficient to serve the business conducted without using adjacent streets or parking lots. No off-site parking is permitted.
2. Minimum Parking Stall Dimensions shall conform to the City of Goodyear Zoning Ordinance.



Section



Plan

Figure 3 - Refuse Enclosure Screening

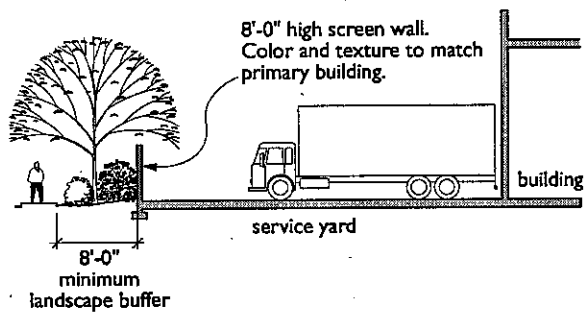


Figure 4 - Section through loading/service area

3. Parking is restricted to paved and designated parking spaces only. Each owner and occupant shall be responsible for compliance by their respective employees and visitors.
4. Accessible parking shall be provided in accordance with the City of Goodyear Zoning Ordinance standards.
5. All parking shall be screened from public streets by appropriate landscaping berms and or walls (refer to Landscape Guidelines).
6. All parking spaces must be designated by painted lines or pavement markers.
7. Parking structures and covered parking will be permitted within the building setback but not within the landscape setback.
8. Sharing of driveways between adjacent sites may be required for commercial sites gaining access from an arterial street and is encouraged in all other areas. Cross easements between commercial parcels shall be provided to allow off-street access and movement between parcels.
9. The use of geometrically patterned and textured concrete or other natural materials such as brick and stone is encouraged to denote entries or other special features.
10. Parking canopies in frontage areas must be carefully and aesthetically integrated into the project.

F. Pedestrian and Bicycle Circulation Guidelines

The purpose of the Pedestrian and Bicycle Circulation Guidelines is to promote free and safe movement of pedestrians and bicyclists throughout Goodyear PRC.

1. All sidewalks shall (to the extent applicable) comply with Engineering Design Standards & Policy Manual (EDSP) requirements, and in no case have an unobstructed width of less than 5'-0".
2. Site sidewalks should connect site amenities, building entries, courts, parking areas, and public sidewalks.

G. Site Utilities Guidelines

The purpose of the Site Utilities Guidelines is to promote the coordinated development of utilities in Goodyear PRC and to minimize utility costs and adverse visual impacts caused by utility structures and appurtenances. All permanent utility lines of less than 69 KV shall be installed underground.

2. Group transformers with utility meters must be used where possible and they shall be screened.
3. Utility appurtenances including telephone pedestals, utility meters, irrigation system backflow preventers, transformers, etc., should not be visible from adjacent properties, parking areas, public streets and pedestrian walkways. They are encouraged to be screened by low walls and/or plantings.
4. Applicant shall tie into sanitary and storm sewer stub-outs provided to avoid disturbance to existing pavement.
5. Applicant shall tie into water main stub-outs where possible.
6. Where cuts in existing streets are made for utility work, all cutting, backfilling and paving shall be replaced with like material.
7. Fire hydrant locations shall conform to City of Goodyear Fire Department regulations.
8. A communications easement shall be included throughout Goodyear PRC per Goodyear PRC Utilities Plan.

III. Architectural Guidelines

A. General Statement

The overall design concept of the Goodyear PRC is to develop a mixed-use project including uses such as a regional mall, power center, hotels, entertainment, office space and residential. Buildings should have architectural features and details that provide visual and spatial interest at the scale of the pedestrian.

B. Materials and Colors

Substantive earth-tone materials should be used to give the development a tasteful and timeless atmosphere.

1. Predominant exterior building materials shall be high quality and low maintenance. These include:
 - Brick
 - Natural stone
 - Integral color or textured concrete or concrete masonry units
 - A base element is encouraged when E.I.F.S. is used.
2. Façade colors shall be low reflectance, subtle, earth tone colors. The use of high intensity, metallic or fluorescent colors is prohibited.
3. Building trim and accent areas may feature brighter colors. Neon tubing as an accent is not allowed. Wood may be used in accent applications.

C. Façades

Façades should have four-sided architectural design which reduces the massive appearance of larger buildings so that a human scale can be achieved.

1. Façades greater than 150 feet in length, measured horizontally, shall incorporate wall plane projections or recesses having a depth of at least 3% of the length of the entire façade. At least 20% of the facades greater than 150 feet in length shall be projections or recesses. No uninterrupted length of any façade shall exceed 150 horizontal feet. (Figures 5 and 6)
2. Shade structures along the first floor façades are encouraged for retail buildings. Shade structures can take the form of, but are not limited to the following: arcades, trellises, canopies, and other architectural projections. Trellises may be open designs if the design intent is for them to support sun-screening material.
3. Exterior patios and eating areas are encouraged.
4. Design of parking structures and other accessory buildings shall be compatible with primary structures.

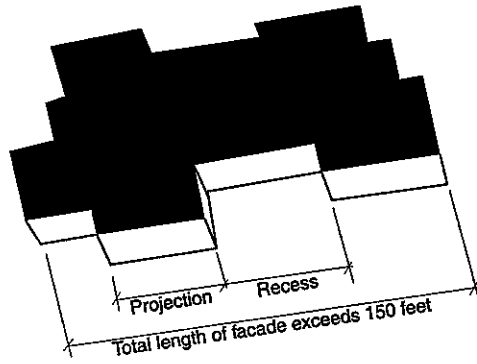


Figure 5 - Projections/recessions

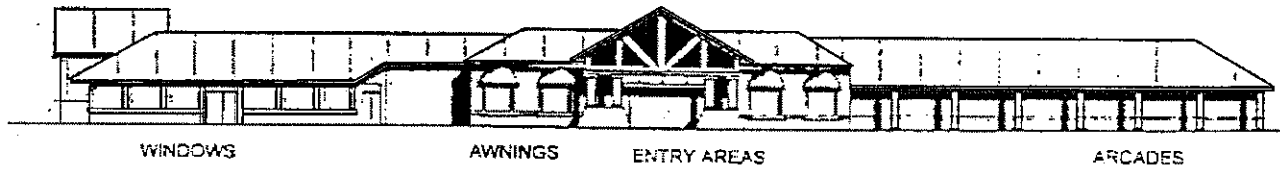


Figure 6 - Animating features example

D. Roofs

1. Variations in rooflines should be used to add interest and to reduce the massive scale of large buildings.
2. Rooftop mechanical equipment, vents and ducts shall be screened or installed in a manner that prevents obstruction or distraction of other views. Screening should be part of the building design. Roof-mounted equipment shall be screened if visible from adjacent buildings or streets (i.e. trellis).

E. Entries

Entries should be designed to add aesthetic beauty, variety, interest, hierarchy and orientation to the individual buildings and overall development. Store fronts and entrances should relate to parking and pedestrian space. Each building shall have clearly defined, highly identifiable entrances using three of the following:

1. Canopies or porticos.
2. Overhangs.
3. Recesses/projections
4. Arcades.
5. Peaked roof forms.
6. Arches.
7. Outdoor patios.
8. Display windows.
9. Integrally designed sitting or waiting areas.

F. Energy Considerations

Building massing should be designed for solar conditions. The design of the massing of structures should consider shadow of neighboring buildings and open spaces as well as the preservation of sun access for passive and active solar design. Buildings should be oriented to maximize use of the sun for building energy efficiency. Buildings should be used to shade plaza areas to provide comfort zones for pedestrians.

IV. Landscape Guidelines

A. Overview and General Requirements

The Landscape Guidelines are intended to promote a pedestrian friendly atmosphere with shade and visual interest. Low water use plants with interesting shapes, forms, textures, and seasonal/year round color will be placed within the rights-of-ways and landscape easements. Broad canopy trees will provide a shaded pedestrian environment, supplemented by flowering accent trees.

Formal and informal flowering shrubs and ground covers will be used throughout the site along all of the rights-of-ways. Any landscape areas in the public right-of-way shall comply with the criteria of the Arizona Department of Water Resources that specify plant materials that have low water needs.

Large parking lots are to be designed to minimize the adverse visual and environmental impacts. (Figure 7). Applicants shall be responsible for the installation and maintenance of all landscaping within site landscape areas. All areas not paved or built upon must be landscaped with either trees, irrigated turf, ground cover, shrub beds, or decomposed granite. All landscape areas not in turf will have decomposed granite as a surface treatment with color coordinated with the Master Landscape Plan. Use of water conserving plants is required. Appendix A lists approved plant materials.

Site Landscape areas include all exterior elements within an individual parcel excluding the landscape easement and the building footprint area. Also, the landscape area shall include parking lot layouts and landscaping, site lighting, irrigation, regulatory and directional signage and service area screening.

A combination of trees, shrubs, vines and berms and walls should be used to aid in eye level screening of service areas and should be planted at a size to achieve this function within a three year period from the date of installation. A minimum of fifteen percent of the total parcel shall be landscaped. The proportion of organic material (shrubs and ground cover) shall cover forty to sixty percent of their ultimate size within one year of growth.

B. Landscape Setbacks

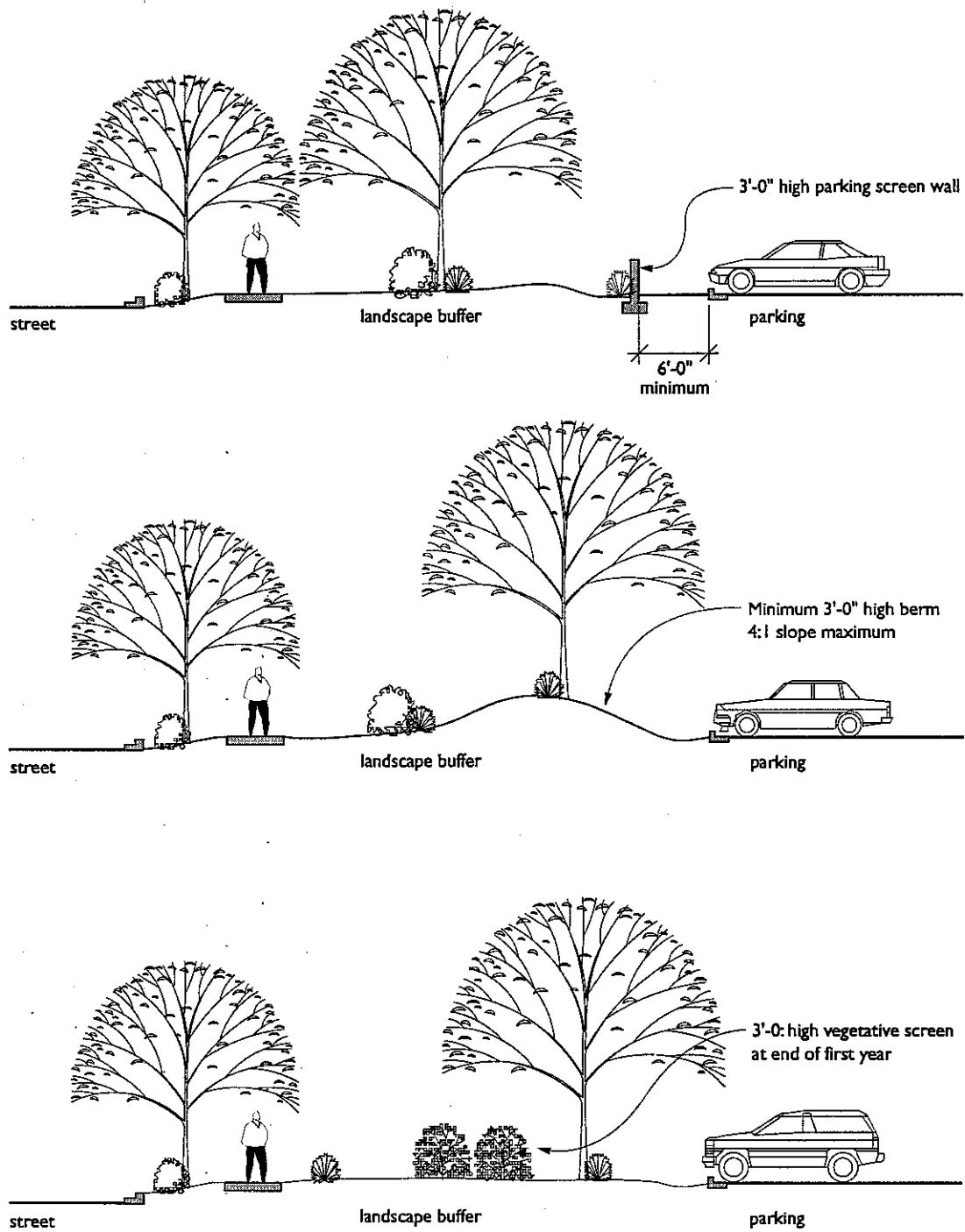
Initial landscaping within the landscape setback and rights of way behind the curb shall be installed by the owners of Goodyear PRC and maintained by the owners. All landscaping within public right-of-way shall be maintained by the owner for two years after satisfactory completion. Site Landscape areas shall harmonize with the landscaping installed within the landscape setback and be consistent with the Master Landscape Plan.

A Parcel Owner shall be responsible to repair and restore all landscape materials within the landscape setback damaged or destroyed during the construction process by the Parcel Owner or Parcel Owner's contractors or licensees.

C. Irrigation

All irrigation systems are to be below ground, fully automated systems in compliance with all applicable building code requirements. Use of water conserving systems such as drip irrigation for shrub and tree plantings is encouraged. All backflow control devices are to be located or screened so that they are not visible from public streets or parking lots. A clear space shall be provided in the landscaping to allow inspection and maintenance of the devices. All turf spray head areas, drives and walks are to be "trimmed" to minimize spray onto adjacent pavement. Sleeves to be provided under driveways.

Landscape irrigation and domestic water services to each site shall be separately metered. Each irrigation service point of connection shall have a backflow prevention device installed in accordance City of Goodyear requirements.



All parking areas visible from a public street shall be screened from view by a combination of berming, landscaping (not less than 3'-0" in height at the end of the first year), or low walls (3'-0") in height. If a low wall is used to achieve screening, its impact must be buffered through placement of shrubs adjacent to it, or through the use of graded land forms that reduce its apparent height when viewed from the street.

Figure 7 - Parking screening methods

D. Parcel Maintenance

Undeveloped areas held in reserve for future building or pavement development will require an approved dust control method. These areas, however, can at a minimum be seeded with a drought resistant turf mix to hold down weed growth and to minimize wind and water erosion. The use of temporary on-grade, irrigation systems are encouraged. If seeding takes place, all public rights-of-way and required setback areas must be landscaped within two years of the purchase of a property, whether or not all phases of development are complete.

All areas of each parcel not used for structures, walkways, paved driveways, parking or storage areas shall be at all times maintained by a professional landscape contractor in a fully and well kept landscaped condition and according to maintenance specifications to be provided by the Applicant (Figure 8).

The owner of each parcel shall at all times properly maintain and keep the entire parcel, including all improvements, in a safe, clean and sightly condition, in a good state of repair and shall comply in all respects with all governmental, health, fire and police requirements and regulations. Such maintenance procedures include, but are not limited to: weeding, fertilizing, replacement of dead or poorly performing landscape material, mowing, pruning, upkeep of light fixtures, graffiti removal and general on-site trash removal.

The owner of each parcel shall, at his own expense, remove any rubbish of any character whatsoever which may accumulate on such parcel.

V. Signage Guidelines

The purpose of the Signage Guidelines is to establish a coordinated graphic system that provides the standards for business identification and wayfinding for Goodyear PRC. The Signage Guidelines play an important role in the overall scheme of Goodyear PRC. Signage creates and promotes the identity of the project, while informing and directing users within the Master Plan and its individual parcels. Consistency of design, materials, size, placement, and lighting to all signage is essential to preserving the success of Goodyear PRC's site development.

Parcel Owners are encouraged to engage a professional signage consultant and/or fabricator to assist in the preparation of the required signage plan. The consultant/fabricator should be thoroughly familiar with the City of Goodyear Zoning Ordinance and the strict standards established by the signage code, and be aware of the Americans with Disabilities Act (ADA) guidelines.

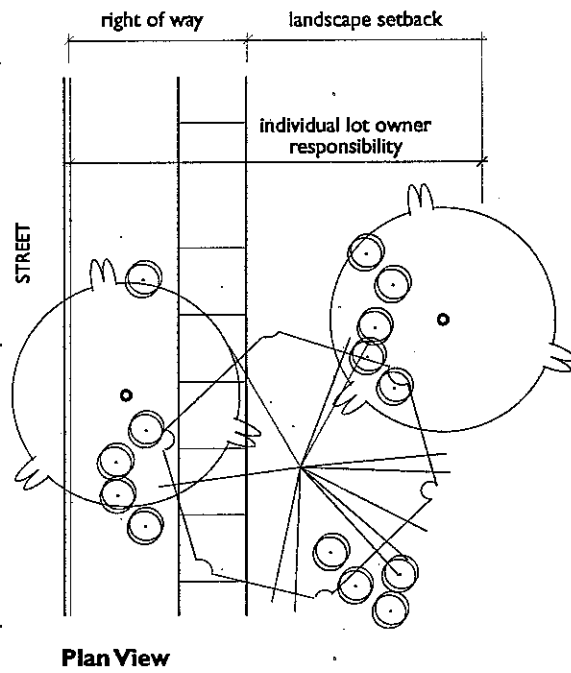


Figure 8 - Individual lot owner landscape responsibility

A. Design Criteria

The following design criteria sets the guidelines for consistency in the signage.

1. Freestanding signs shall have a masonry base with landscape treatments integrated into the site placement.
2. Building address must appear on at least one freestanding sign monument on any given site.
3. All freestanding signs must be at least five feet behind the right of way lines.
4. The design of the signs shall coordinate the architecture and landscape of the identified building(s).
5. Specification of materials, typography, color, and illumination shall complement, not compete with the architecture and landscape of the corresponding building(s).
6. Signs may be illuminated internally to individual letters and/or symbols and molded acrylic faces, or illuminated externally with ground fixtures. All illuminated signs shall have a concealed light source.
7. No changing messages, flashing or moving lights will be permitted. No sign illumination shall cast a glare visible from any street or access drive.
8. Building-mounted signs shall not extend above the parapet of any building.
9. All building-mounted signs must consist of individual letters and/or symbols.
10. All directional signs shall coordinate with the design of the corresponding building identification signs.
11. Information placed on directional signs shall only be for directional copy and arrows.
12. Traffic control signs shall meet the City of Goodyear standards for face size, design, and reflective qualities.
13. All traffic control signs shall be carefully located to provide adequate sight lines from cars, buses, and trucks.
14. All temporary signs shall match the identification signage of a project except for materials.
15. Temporary signs shall be non-illuminated and constructed with non-reflective materials.

To ensure consistency of signage in relation to the corresponding project and to the Goodyear PRC, a comprehensive sign plan shall be to the City of Goodyear. Any proposed signage is subject to approval by the City of Goodyear.

VII. Construction

1. These measures are to be followed to minimize soil erosion by water and wind.
 - a. Remove no more vegetation than necessary.
 - b. Install temporary mulching or fire-resistant hydroseed in areas to be left bare for an extended time.
 - c. Provide temporary ditches, dikes, distilling basins and/or vegetation to remove sediment from runoff water during development.
 - d. Install permanent landscaping as soon as practical.
2. The owner of individual parcels or buildings is responsible for identifying and protecting existing utilities during construction.
3. Construction sites shall be maintained in a neat and orderly manner. All trash shall be kept in enclosed containers and removed frequently.

4. Special care should be taken to protect existing pavements and landscaping from damage when coordinating construction access.
5. Comply with requirements of governing authorities for dust control. Use whatever means necessary to control dust on or near the work and on or near off-site borrow, storage and spoil areas, if such dust is caused by construction development.
6. Signage (see Section V - Signage Guidelines for temporary signs).

Appendix A

The majority of landscape plant materials selected were chosen for their suitability in meeting the following criteria:

- Low maintenance
- Disease and insect resistance
- Adaptability to arid environments
- Soil adaptability
- Fruitless
- Non-allergenic to employees
- Seasonal color/flowering characteristics
- Texture, size, growth rate

The following sections describe recommended plant materials for Goodyear PRC. Other types of plant materials are permitted with approval of the City of Goodyear Planning Director. Landscaping within retention basins shall conform to the EDSP.

TREES

Botanical Name	Common Name
Acacia sp.	Acacia
Alberzzia julibrissin	Mimosa Palo Verde
Cercidium sp.	
Chamaerops humilis	Mediterranean Fan Palm
Chilopsis linearis	Desert Willow
Citrus sp.	Citrus
Dahlbergia sissoo	Sissoo Tree
Eucalyptus Microtheca	Flooded Boc
Eucalyptus Spathulata	Narrow Leaf Gimlet
Geijera parviflora	Australian Willow
Gleditsia triacanthos 'Inermis'	Honey Locust
Jacaranda mimosifolia	Jacaranda
Lysiloma sp.	Desert Fern
Olea sp. 'Swan Hill'	Olive
Olneya tesota	Ironwood
Phoenix dactylifera	Date Palm
Pinus brutea	Afghan Pine/Eldarica Pine
Pinus halepensis	Aleppo Pine
Pistacia sp.	Pistachio
Pithecellobium sp.	Ebony
Prosopis thornless varieties	Mesquite

TREES (continued)

Botanical Name	Common Name
Quercus sp.	Oak
Sophora secundiflora	Texas Mountain Laurel
Ulmus parvifolia "sempervirens"	Evergreen Elm
Washingtonia sp.	Fan Palm

SHRUBS

Botanical Name	Common Name
Acacia sp.	Acacia/Wattle
Ambrosia deltoidea	Triangleleaf Bursage
Baccharis hybrid 'centennial'	Centennial Desert Broom
Bougainvillea sp.	Bougainvillea
Boxus microphylla	Japanese Boxwood
Caesalpinia sp.	
Calliandra species	Fairy Duster
Cassia sp.	Cassia
Convolvulus cneorum	Bush Morning Glory
Cordia parvifolia	Little Leaf Cordia
Dalea sp.	Delea
Eencelia Farinosa	Brittlebush
Hyptis emoryi	Desert Lavender
Juniperus chinensis varieties	Juniper
Justicia spigera	Mexican Honeysuckle
Lantana sp.	Lantana
Leucophyllum sp.	Texas Ranger
Nerium oleander	Oleander 'petites'
Plumbago scandens	Cape Plumbago
Ruellia californica	California Ruellia
Ruellia peninsularis	Desert Ruellia
Salvia sp. (shrub only)	Sage
Simmondsia chinensis	Jojoba
Sophora secundiflora	Mescal Bean
Tecoma stans	Arizona Yellow Bells
Tecoma stans 'orange jubalee'	Orange Jubalee Tecoma

GROUNDCOVERS/HERBACEOUS PLANTS

Botanical Name	Common Name
<i>Acacia redolens</i> 'desert carpet'	Desert Carpet Freeway Acacia
<i>Asparagus densiflorus</i> cv. sprengeri	Sprenger Asparagus
<i>Baccharis</i> hybrid 'centennial'	Centennial Desert Broom
<i>Carpobrotus edulis</i>	Ice Plant
<i>Centaurea cineraria</i>	Dusty Miller
<i>Convolvulus mauritanicus</i>	Ground Morning Glory
<i>Dalea</i> sp.	Dalea
<i>Gazania</i> sp.	Ganzania
<i>Lantana montevidensis</i>	Trailing Lantana
<i>Malephora lutea</i>	Ice Plant
<i>Myoporum parvifolium</i>	Sandalwood
<i>Oenothera berlandieri</i>	Mexican Evening Primrose
<i>Oenothera drummondii</i>	Baja Primrose
<i>Rosmarinus officinalis</i> 'prostratus'	Blue Sage
<i>Salvia farinacea</i>	Mealy Cup Sage
<i>Santolina chamaecyparissus</i>	Lavender Cotton
<i>Santolina virens</i>	Green Santolina
<i>Sphaeralcea</i> sp.	Globe-Mallow
<i>Verbena</i> sp.	Verbena

ANNUALS/PERENNIALS

Botanical Name	Common Name
<i>Baileya multiradiata</i>	Desert Marigolds
<i>Catharanthus roseus</i> cultivars	Madagascar Periwinkle
<i>Dietes</i> sp.	Fortnight Lily
<i>Dimorphotheca</i> sp.	African Daisy
<i>Dyssodia pentachaeta</i>	Dyssodia
<i>Eschscholzia californica</i>	California Poppy
<i>Eschscholzia mexicana</i>	Mexican Gold Poppy
<i>Hemerocallis</i> hybrids	Day Lily
<i>Lobularia maritima</i>	Sweet Alyssum
<i>Melampodium leucanthum</i>	Blackfoot Daisy
<i>Pelargonium hortorum</i>	Geranium
<i>Penstemon</i> sp.	Marigold
<i>Tagetes</i> sp.	Ursinia
<i>Zinna</i> sp.	Zinna
<i>Zauschneria californica</i>	Hummingbird Flower

SUCCULENTS

Botanical Name	Common Name
Agave sp.	Agave
Aloe sp.	Aloe
Cacti (all)	
Dasyliirion sp.	Desert Spoon
Fouquieria sp.	Ocotillo
Hesperaloe sp.	Red Yucca
Nolina sp.	Bear Grass
Yucca sp.	Yucca

GRASSES

Botanical Name	Common Name
Aristida purpurea	Red Three Awn
Bromus rubens	Red Brome
Muhlenbergia sp.	Muhley
Hybrid bermuda/Winter Rye	

VINES

Botanical Name	Common Name
Antigonon leptopus	Queens Wreath
Bougainvillea sp.	Bougainvillea
Campsis radicans	Common Trumpet Creeper
Clematis drummondii	Virgin's Bower
Hardenbergia comptoniana	Wild Wisteria
Macfadyena unguis – cati	Cat Claw
Mascagnia lilacaena	Lilac Orchid Vine
Mascagnia macroptera	Yellow Orchid Vine
Rosa banksiae	Lady Banks Rose
Prodranea ricasoliana	Pink Trumpet Vine



Tab 8

**Residential Design
Guidelines**

Multi-family Design Guidelines

1. Each project should provide recreation areas and open space to serve the residents. Detention basins may be included in these areas.
2. Building facades shall incorporate design elements that enhance the pedestrian environment.
3. Building elevations facing single family residential areas shall consider and be sensitive to adjacent single family residential development.
4. Loading and trash enclosure areas shall be screened and oriented away from arterial streets and single family residential areas.
5. All utilities and ground mounted mechanical equipment shall be fully screened from public view.
6. Shade structures and screening shall be architecturally and functionally integrated with established design theme.
7. Building entrances should be designed to give human scale for pedestrian interest.
8. Building design and location should consider the desert climate, view corridors and the orientation of buildings to street.
9. Monotonous building elevations should be avoided through the use of façade articulation, building angles, eaves, parapets, window and door placement and landscaping.
10. Building colors should be sensitive to and compatible with the desert environment.
11. Parking areas will be screened from perimeter streets or located behind buildings or to the rear of the project. Parking areas should be broken down in scale and located convenient to units served. Covered parking structures should reflect the design and materials of residential structures.
12. Buffer multi-family from single family residential with setbacks, landscaping and/or screening.
13. Where perimeter walls are used along arterial and collector streets, they will be inset at regular intervals to provide visual interest.
14. All active and passive recreation/pedestrian areas should provide pedestrian scale lighting.
15. Pedestrian links between site components, i.e. parking, play areas, open space areas, storage areas and clubhouse shall be required.
16. Landscaping adjacent to building should promote energy efficiency.
17. Interior public spaces should connect to pedestrian walkways.
18. Integration of landscaping and sign design is encouraged.

Single Family Residential Design Guidelines

1. Street character should be diverse in residential areas. Diverse is defined as providing safety, interest and variety while maintaining a harmonious context.
2. Vary the street appearance by providing different rooflines and shapes.
3. Diversity in the design of homes and neighborhoods is encouraged.
4. All developments should incorporate a minimum of two (2) different roof styles. Roof styles should include, but not be limited to, pitched, hip, flat, gambrel, mansard, or other style roof.
5. Building design and location should consider the desert climate, view corridors and the orientation of buildings to the street.

6. Monotonous building elevations should be avoided through the use of façade articulation, building angles, eaves, parapets, window and door placement and landscaping.
7. Building elevations should vary from homes on adjacent lots and directly across the street.
8. The use of decorative pilasters, moldings, cornices and other façade treatments should be utilized to enhance the building appearance.

Landscaping Design Guidelines

1. Landscaping should be provided to enhance visual character and provide amenities for pedestrians.
2. Landscaping should be considered as an integral element of the project when site planning.
3. Use landscaping to help define pedestrian circulation.
4. Accent landscaping and hardscaping should be provided at strategic key intersections and at major residential entries.
5. Drainage swales should be treated as a landscape element and integrated into the overall site and planting designs.
6. Integrate retention areas into the open space plan whenever possible.
7. Use of turf is discouraged, except as needed for active play and recreation areas.
8. Use drip irrigation to maintain trees, shrubs, accents and native grasses.



Tab 9

Company Descriptions

Globe Corporation

Globe Corporation is a family owned, diversified investment company, located in Scottsdale, Arizona. Founded in 1901 by George F. Getz, the company continues to be managed by the fourth generation of the Getz family. Interest include banking, real estate, trust management, foundation management and venture capital. Current management includes Bert A. Getz, Chairman; George F. Getz, President; Bert A Getz, Jr., Executive Vice President; James L. Johnson, Secretary/Treasurer; Raymond H. Carter, Vice President and Director of Real Estate. Globe Corporation has been located in Scottsdale, Arizona since 1970.

Westcor

Westcor is a privately-held fully-integrated real estate development management company led by Chairman Russ Lyon, Jr., President and CEO Rob Ward, and Executive Vice Presidents Wally Chester, Jack Rasor and Bob Williams. Westcor's strategic land acquisitions in growing trade areas and the development of these properties into successful shopping and retail centers have elevated the quality of shopping in the Valley.

Rusty Lyon formed Westcor in 1968 and has nurtured it into the largest developer/owner/manager of commercial retail properties in the Phoenix metropolitan area and one of the largest in the County (Top 30). Westcor properties total more than 13 million square feet of retail space and have a current market value in excess of \$1 billion. Westcor owns more than 20 neighborhood, community, power and specialty centers, including Hilton Village and The Borgata of Scottsdale, and will be developing the Village at Chauncey Ranch and The Shops at Gainey Village in the near future. Westcor has also developed, leased, owns and manages the following super regional malls:

- Arrowhead Towne Center (Glendale, AZ)
- Desert Sky Mall (Phoenix, AZ)
- Flagstaff Mall (Flagstaff, AZ)
- Metrocenter, (Phoenix, AZ)
- Paradise Valley Mall (Phoenix, AZ)
- Scottsdale Fashion Square (Scottsdale, AZ)
- Superstition Springs Center (Mesa, AZ)
- Foothills Fashion Mall (Fort Collins, CO)
- Flatiron Crossing (opens 2000 – Broomfield, CO)
- SanTan Fashion Center (opens 2001 – Chandler, AZ)
- Prescott Mall (opens 2001 – Prescott, AZ)

Westcor has come quite a distance since it began nearly 30 years ago with the opening of its first (and Arizona's first) air-conditioned enclosed-mall regional shopping center, Los Arcos Mall in 1968. In 1974, Westcor completed Metrocenter and its innovative, two-level design forever changed the look of shopping in Phoenix. At the time, Metrocenter was the country's largest enclosed mall regional shopping center with five major department stores and more than 1.5 million square feet of gross leasable area (GLA).

Westcor pioneered the "urban village" concept in the early 70's which anticipated the development of commercial cores surrounding its regional shopping centers. Surrounding most of its malls, Westcor has developed mixed-use commercial projects, which complement the regional mall. Taken together, the regional shopping center and the adjacent peripheral developments comprise the commercial core of these urban villages. Prime examples would be Metrocenter and Paradise Valley Mall in Phoenix, Arrowhead Towne Center in Glendale/Peoria and Superstition Springs Center in Mesa.

Westcor and its principals have been active in the office development/ownership/management arena in the Phoenix metropolitan area. Westcor has developed over 1 million square feet of office space in the Phoenix area and currently has a portfolio of more than 1 million square feet of office space.

Westcor and its principals have also been active in the hotel/resort business including the development and management of the Hotel Westcourt at Metrocenter, the Buttes in Tempe and The Boulders in Carefree. Prior to selling its hotel/resort portfolio to Patriot American Hotels, Westcor also owned and managed the Peaks in Telluride, Colorado; Carmel Valley Ranch in Carmel California; and The Lodge at Ventanna Canyon in Tucson, Arizona.